

**EXHIBIT LIST FOR SUB 2022-004/EA 2022-051  
Preliminary Plat of Blair Loop**

DATED

<b>Planning Commission Memo Exhibit List - August 8, 2023</b>				
<b>PCM 1</b> Includes:	PCM 1.1	Staff Report	July 28, 2023	
	PCM 1.2	Site Map	December 21, 2022	
	PCM 1.3	Notice of Public Hearing	July 14, 2023	
	PCM 1.4	Findings of Need for Additional Processing Time	January 9, 2023	
	PCM 1.5	Letter re: Additional Processing Time	January 11, 2023	
	PCM 1.6	Findings of Need for Additional Processing Time	February 22, 2023	
	PCM 1.7	Letter re: Additional Processing Time	February 22, 2023	
	<b>APPLICATION SUBMITTAL</b>			
	PCM 1.8	Subdivision Application Materials	December 15, 2022	
	PCM 1.9	Plat Map	December 15, 2022	
	PCM 1.10	Preliminary Stormwater Report	December 22, 2022	
	PCM 1.11	Benton Franklin Health District Letter	October 4, 2022	
	PCM 1.12	Technical Information Report	December 15, 2022	
	<b>SEPA INFORMATION</b>			
	PCM 1.13	Environmental Checklist EA 2022-041	December 15, 2022	
	PCM 1.14	Notice of Application	January 27, 2023	
			June 29, 2023	
	PCM 1.15	Mitigated Determination of Non Significance/EA 2022-051		
	<b>COMMENTS</b>			
	PCM 1.16	Sunnyside Valley Irrigation District	February 3, 2023	
	PCM 1.17	Fire District #3/Public Works questions/comments on the Bridge	February 6, 2023	
	PCM 1.18	Benton PUD	February 6, 2023	
	PCM 1.19	Public works comments on the Bridge	February 9, 2023	
	PCM 1.20	WA St. Fish and Wildlife	February 10, 2023	
	PCM 1.21	Benton Co. Public Works Dept.	February 14, 2023	
	PCM 1.22	Dept. of Arch. and Historical Preservation Survey Needed	February 15, 2023	
	PCM 1.23	Bureau of Reclamation	February 21, 2023	
	PCM 1.24	Benton REA	February 22, 2023	
	PCM 1.25	Benton Co. Fire Marshal	February 28, 2023	
	PCM 1.26	Confederate Tribes of the Umatilla Indian Reservation	June 30, 2023	
	PCM 1.27	Comments from Jerrod Sessler	July 10, 2023	
PCM 1.28	DAHP Concurrence Letter	July 10, 2023		
PCM 1.29	BFHD Comments	July 17, 2023		
PCM 1.30	SVID Comments	February 17, 2023		
PCM 1.31	Confederate Tribes of the Umatilla Indian Reservation	August 2, 2023		
<b>Planning Commission Hearing Exhibit List - August 8, 2023</b>				
<b>PCH 1</b> Includes:	PCH 1.1			
	PCH 1.2			
	PCH 1.3			
<b>Board of County Commissioners Memo Exhibit List - DATE</b>				
<b>BCCM 1</b> Includes:	BCCM 1.1			
	BCCM 1.2			

**The Exhibit Numbers are found in the Top Right Hand Corner of each document.**

**PCM = Planning Commission Memo Exhibits  
PCH = Planning Commission Hearing Exhibits  
BCCM = County Commissioner Memo Exhibits**



## PCM 1.1

### STAFF REPORT TO THE BENTON COUNTY PLANNING COMMISSION

<b>FILE NO:</b>	SUB 2022-004 Preliminary Plat of Blair Loop
<b>MEMO DATE:</b>	August 2, 2023
<b>HEARING DATE:</b>	August 8, 2023
<b>APPLICANT/ OWNER</b>	Jerrold Sessler RQ Bradley, LLC, 84009 W OIE Hwy Prosser, WA 99350
<b>LOCATION:</b>	The site is located in unincorporated Benton County south of Old Inland Empire Highway in Sections 22 and 27, Township 9 North, Range 25 East, W.M. in Prosser, WA on parcel numbers 122954000004000, 127951000004000, and 127951000002000.
<b>PROPERTY SIZE:</b>	Approximately 64.70 acres
<b>AREA TO BE USED:</b>	Approximately 61.20 acres
<b>LAND USE:</b>	Residential
<b>COMP. PLAN:</b>	Rural Remote
<b>ZONING:</b>	Rural Lands Five Acre District
<b>SUGGESTED STAFF RECOMMENDATION:</b>	Positive recommendation subject to seven (7) findings of fact and twenty (20) conditions of approval.

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#### APPLICATION DESCRIPTION

The applicant has submitted a preliminary plat application (PCM 1.8) and map (PCM 1.9) to subdivide approximately 64.70 acres into 11 residential lots. The preliminary plat is known as Blair Loop and is zoned Rural Lands Five Acre District.

The average lot size in the development is approximately 5.50 acres and the lots are proposed to be served by a new public road, individual wells, and septic systems.

The site is located in unincorporated Benton County south of Old Inland Empire Highway in Sections 22 and 27, Township 9 North, Range 25 East, W.M. in Prosser, WA on parcel numbers 122954000004000, 127951000004000, and 127951000002000.

#### PUBLIC NOTICE

1. A Notice of Application was published in the Prosser Record Bulletin on February 1, 2023 (PCM 1.14).
2. Planning Staff mailed out review packets to technical agencies on February 3, 2023.

3. A Notice of Public Hearing was published in the Prosser Record Bulletin on July 26, 2023 (PCM 1.3).
4. Property owners within 300 feet were mailed notice on July 18, 2023.
5. A SEPA Determination of Mitigated Non-Significance (MDNS) (PCM 1.15) was issued on June 29, 2023.

**APPLICABLE STANDARDS/ORDINANCES**

1. Comprehensive Plan: Benton County Comprehensive Plan.
2. SEPA: BCC, Title 6, Chapter 6.35 Environmental Policy.
3. Subdivision Code: BCC, Title 9, Subdivision Regulations.
4. Zoning Code: BCC, Title 11, Zoning Regulations.
5. Critical Area Ord.: BCC, Title 15, Critical Areas- BCC 15.02 - 15.14.
6. Flood Code: BCC, Title 3.26, Flood Damage Prevention.
7. Shoreline: Benton County Shoreline Master Program.
8. RCW 58.17: Plats and Subdivisions.
9. Planning Commission/Open Record Hearing:

Pursuant to BCC 9.05.070, an open record hearing on the proposed subdivision shall be held before the Planning Commission. The Planning Commission shall consider all relevant information, including but not limited to:

- a. The staff report by the Planning Division,
- b. Any written comments or concerns expressed by other reviewing agencies,
- c. Oral and written testimony from persons present at the hearing; and

If the Planning Commission finds that additional information is needed, the Planning Commission may continue the hearing for up to thirty-five (35) days or such longer period as agreed to by the applicant and direct that the additional information be gathered.

**AGENCY COMMENTS**

1. Benton County Planning Division: See the suggested findings of fact and conditions of approval for the Planning Division’s comments and requirements.
2. Benton County Public Works Department: See comments dated February 14, 2023 (PCM 1.21).
3. Washington State Department of Archeology and Historic Preservation: See comments dated February 15, 2023 (PCM 1.22 and July 10, 2023 (PCM 1.28).
4. US Bureau of Reclamation: See comments dated February 21, 2023 (PCM 1.23).
5. Sunnyside Valley Irrigation District: See comments dated February 3, 2023 (PCM 1.16).
6. Benton REA: See comments dated February 22, 2023 (PCM 1.24).
7. Benton Franklin Health District: See comments dated October 4, 2022 (PCM 1.11 and 1.29).
8. Washington State Department of Fish and Wildlife: See comments dated February 10, 2023 (PCM 1.20).

9. Confederated Tribes of the Umatilla Indian Reservation: See comments dated June 30, 2023 (PCM 1.26) and August 2, 2023 (PCM 1.31).

### **CRITERIA FOR FINDINGS OF FACT**

1. Pursuant to BCC 9.05.080, Consideration of Preliminary Subdivision, the Benton County Planning Commission, after conducting an open record hearing and considering all information presented, shall forward a recommendation to the Board of County Commissioners regarding whether the preliminary plat be approved, approved with conditions, or denied as proposed. Prior to making any recommendation, the Planning Commission shall make the following written findings:
  - a. That the proposed subdivision conforms to the Benton County Comprehensive Plan, any applicable zoning requirements and other applicable land use controls;
  - b. That the County Engineer, or designee, has provided a written representation that the proposed subdivision provides adequate means of access and conformance with the road and drainage requirements of Benton County;
  - c. That the proposed subdivision meets the requirements of BCC 9.05;
  - d. That the public interest will be served by the proposed division and dedication;
  - e. That appropriate provisions are made for the public health, safety, and general welfare, for open spaces, drainage ways, streets or roads, alleys, other public ways, transit stops, potable water, sanitary wastes, parks and recreation, playgrounds, schools, school grounds, and sidewalks;
  - f. That the Benton-Franklin Health District and Sunnyside Valley Irrigation District have reviewed the proposed subdivision for compliance with their rules and regulations and has not expressed objection to the proposed subdivision; and
  - g. If any portion of the proposed subdivision is located within an irrigation district, that the applicant has complied with RCW 58.17.310 as it now exists or is hereafter amended.
2. RCW 58.17.110 (1)(2)(3). Approval or disapproval of subdivision - factors to be considered-conditions of approval.

### **RECOMMENDATION**

Benton County Planning staff will assist the Planning Commission with the determination of findings and conditions for the preliminary plat of Blair Loop - File Number SUB 2022-004.

The Benton County Planning Division recommends that the Planning Commission forward a **recommendation of approval** to the Benton County Board of Commissioners for the application SUB 2022-004, with the following suggested findings of fact, conditions of approval, and motion.

### **SUGGESTED FINDINGS OF FACT:**

1. The proposed subdivision application (PCM 1.8), and preliminary plat map (PCM 1.9) conforms to the Benton County Comprehensive Plan, any applicable zoning requirements and other applicable land use controls;
  - a. The proposed use is in conformance with the intent of the Comprehensive Plan based on the following facts:
    - i. The 64.70-acre site is bordered on all sides by land zoned Rural Lands Five Acre District.

- ii. The Benton County Comprehensive Plan designates this area as Rural Remote with a 5-acre minimum lot size. The property is zoned Rural Lands Five Acre (RL-5). The preliminary plat complies with the minimum lot size and minimum average lot width required for the RL-5 Zoning District;
  - iii. The GMA requires counties to include a rural element in their comprehensive plans to permit appropriate land uses that are compatible with the rural character of such lands and provide for a variety of rural densities. This element has been incorporated as a part of the land use element of the County's plan;
  - iv. Rural Remote is the predominant rural land use in the County. This land is located mostly between the agricultural lands (GMA Agriculture), Rural Transition, and the Urban Growth Areas. Rural Remote land use is intended to enhance and preserve the County's rural character, which includes rural open space, low densities, wildlife habitat, public open space for outdoor recreational activities, and rural home sites on which a limited range of agricultural activities may be conducted. Allowable density in Rural Remote land use is 1 dwelling unit per 5 acres.
  - v. The smallest lot size is 5.00 acres and the average lot size for this plat is 5.50 acres;
  - vi. This development is consistent with the required minimum lot size and density standards contained in the Benton County Comprehensive Plan; and
  - vii. The creation of 11 residential lots in the RL-5 Zoning District furthers the implementation of the Benton County Comprehensive Plan.
- b. The proposed plat is consistent with the applicable zoning requirements of the Benton County Code, Title 11, based on the following facts:
- i. The property is zoned Rural Lands Five Acre District (RL-5). The preliminary plat complies with the minimum lot size and minimum average lot width required for the RL-5 Zoning District.
- c. The proposed subdivision does comply with the requirements of the Benton County Code, Title 9, Subdivision Regulations;
- i. The proposed subdivision complies with the purpose and preliminary plat requirements included in BCC 9.05 Subdivision - Preliminary Plat.
- d. The proposed subdivision complies with the Benton County Critical Area Ordinance BCC Title 15.
- i. Upon completion of a review of BCC Title 15 and the Benton County Critical Area Maps, wetlands and steep slopes have been identified on this property however a critical area report is not required for the processing of a preliminary plat at this location as the residential development will not occur in close proximity to the mapped critical areas. Should any future development occur near these areas a critical area report may be required.
  - ii. The proposed plat is located within a special flood hazard area as identified on the Federal Emergency Management Agency Flood Insurance Rate Maps and BCC 3.26.
- e. The proposed subdivision complies with the Benton County Flood Damage Prevention Ordinance BCC Title 3.26.
- i. The proposed plat is located in a unnumbered A flood zone in the 100-year flood boundary as identified on the Federal Emergency Management Agency Flood Insurance Rate Maps and BCC 3.26.

- f. The proposed subdivision complies with the Benton County Shoreline Master Program.
  - i. Portions of Lots 6-11 are within the jurisdiction of the Shoreline Master Plan and any development or use must meet the requirements of the rural environment.
- g. The requirements of the State Environmental Policy Act have been met based on the following:
  - i. The proposed subdivision has been reviewed under the requirements of BCC Title 6, Chapter 6.35 and the State Environmental Policy Act.
  - ii. During the SEPA comment period the following comments were received:
    - 1. Benton County Planning Division required flood elevation data to be provided by the applicant per BCC 3.26.070(d)(4) and archeological monitoring per the cultural resource survey dated June 2023;
    - 2. State of Washington Department of required a cultural resource survey to be conducted;
    - 3. US Bureau of Reclamation required detailed bridge plans to be provided to and approved by Reclamation and listed other concerns that not been addressed by the applicant; and
    - 4. West Benton Fire and Rescue required the proposed bridge to be rated for vehicle weighing over 39 tons.
  - iii. An MDNS with mitigation/conditions (**PCM 1.15**) was issued for the project on June 29, 2023.
- 2. The County Engineer has provided a written representation that the proposed subdivision provides adequate means of access and conformance with the road and drainage requirements of Benton County;
  - a. Reference the Benton County Public Works Department comments as it relates to stormwater and drainage easements (**PCM 1.21**); and
- 3. The proposed subdivision meets the requirements BCC 9 Subdivision Regulations;
  - a. The proposed subdivision complies with the purpose and preliminary plat requirements included in BCC 9.05 Subdivision- Preliminary Plat;
- 4. The public interest will be served by the proposed division and dedication;
  - a. The creation of 11 residential lots in the RL-5 Zoning District furthers the implementation of the Benton County Comprehensive Plan; and
  - b. Benton County standards are to be complied with, including the construction and dedication of a new public road.
- 5. Appropriate provisions are made for the public health, safety, and general welfare, for open spaces, drainage ways, streets or roads, alleys, other public ways, transit stops, potable water, sanitary wastes, parks and recreation, playgrounds, schools, school grounds, and sidewalks;
  - a. Appropriate provisions have been made for the public health and safety based on the following facts:
    - i. The applicant has proposed that the preliminary plat be served by individual ground wells for potable and irrigation water and individual septic systems;

- ii. The Benton Franklin Health District has reviewed the preliminary plat and has no objections provided the conditions in their letter dated October 4, 2022 are satisfied; and
  - iii. The Benton County Fire Marshal has no objections provided the proposed division complies with the requirements set forth in BCC 3.18.025.
- b. Appropriate provisions have been made for open spaces based on the following facts:
  - i. The proposed subdivision does not contain land to be designated for open space.
- c. Appropriate provisions have been made for drainage ways based on the following facts:
  - i. Pacific Engineering Design, LLC prepared a stormwater pollution prevention plan for the applicants of Blair Loop dated December 22, 2019 (PCM 1.10). The report discusses the provisions made for both offsite and onsite stormwater as it relates to this property and the proposed development; and
  - ii. Reference the Benton County Public Works Department comments as it relates to stormwater and drainage easements (PCM 1.21).
- d. Appropriate provisions have been made for streets or roads, alleys, and other public ways based on the following facts:
  - i. The public interest will be served by the proposed division and dedication as the Benton County Public Works Department road standards are to be complied with including the construction and dedication of the new public road; and
  - ii. Reference the Benton County Public Works Department comments as it relates to road and mitigation requirements (PCM 1.21).
- e. Appropriate provisions have been made for transit stops based on the following facts:
  - i. Ben Franklin Transit did not comment on transit service for the proposed development. The proposed plat and surrounding area are not served by public transit.
- f. Adequate provisions have been made for potable water supplies based on the following facts:
  - i. The project is located in the Lower Yakima Watershed, WRIA 37;
  - ii. The applicant has proposed that the preliminary plat be served by individual well and septic systems;
  - iii. The proposed project does comply with BCC 9.02.070(b)(3) including, but not limited to, the Benton County Comprehensive Plan (i.e., Comprehensive Plan's rural domestic water policies- RCW 90.44.050) and the Washington State Department of Ecology's guidance on exemptions for groundwater.
  - iv. Developments utilizing ground wells under the Department of Ecology's Groundwater Exemption is limited to a total of 14 lots in perpetuity for the entire project area and any future development under the Washington State Department of Health's standard of 350 gallons per day (5,000 gallons per day/14 lots = 357 gallons per day per lot).
  - v. This preliminary plat is located within the Benton County Rural Water Supply Program Mitigation Area. All new lots and residences located within this plat are required to comply with Benton County Ordinance 619 (BCC Title 15), Benton County Rural Water Supply Program, as amended. All proposed lots shall acquire a mitigation certificate from Benton County prior to final plat approval. In addition, all new dwelling units within the Mitigation Area are required to meter their water usage through a meter approved by the County and pay an annual program fee in an amount set by the County prior to receiving a certificate of occupancy.

- vi. The Benton Franklin Health District has reviewed the preliminary plat and have no objections provided the conditions in their letter dated October 4, 2022 are satisfied; Adequate provisions have been made for sanitary waste based on the following facts:
  - g. Adequate provisions have been made for sanitary waste based on the following facts:
    - i. The Benton Franklin Health District has no objections to individual septic systems which are proposed to serve the lots.
  - h. Adequate provisions have been made for parks, recreation, and playgrounds based on the following facts:
    - i. The proposed subdivision does not contain land to be designated for parks or recreation. The Benton County Code does not require park dedications.
  - i. Appropriate provisions have been made for schools and school grounds and for sidewalks and other planning features that assure safe walking conditions for students who only walk to and from school based on the following facts:
    - i. The proposed plat is within the Prosser School District. The School District did not provide comments on this proposal as to whether there are adequate provisions to assure safe walking conditions for students who walk to and from school or who wait for school buses.
6. The applicable water/sanitary system agency has reviewed the proposed subdivision for compliance with its rules and regulations and has not expressed objection to the proposed subdivision; and
- a. The Benton-Franklin Health District has reviewed the proposed subdivision for compliance with its rules and regulations and has not expressed objection to the proposed subdivision;
  - b. Reference the BFHD comments as it relates to this preliminary plat (**PCM 1.11 and PCM 1.29**).
7. This plat is located within the Sunnyside Valley Irrigation District and the applicant has complied with RCW 58.17.310 as it now exists or is hereafter amended.
- a. The applicant is required to comply with the Sunnyside Valley Irrigation District standards and requirements as they relate to RCW 58.17.310.

**SUGGESTED CONDITIONS OF APPROVAL:**

- 1. Applicant shall meet and comply with the requirements of the **Benton County Public Works Department**, including the following:
  - a. The developer shall provide a complete set of engineered construction drawings for review and approval by the County and associated utilities. The drawings shall contain all appropriate information listed on the attached Minimum Plan Requirements. Grading plan will include grading to shape any drainage easements to route and fully contain all runoff based upon the 100-year storm within the easement limits. All plans and associated reports shall be prepared by a Professional Engineer licensed to practice in the State of Washington.
  - b. All construction shall be in accordance with the most current WSDOT Standard Specifications for Road, Bridge and Municipal Construction, applicable Benton County Standard Plans and the requirements of the County Engineer.
  - c. All roads within this plat shall follow standard R-2 with the addition of a minimum 1-foot gravel shoulder. Roadways shall be designed for a minimum 35 mile per hour design speed.

- d. The pavement return radius at all intersections shall be a minimum of 35 feet.
- e. All stormwater from the roadways shall be contained on the plat and shall utilize surface infiltration (ditches, swales, ponds) for detention. The developer shall have an infiltration test performed at each proposed detention area. Tests shall be done with an infiltrometer using the falling head or constant head method. Other methods of infiltration rate determination shall be approved by the County.
- f. The developer shall provide a complete stormwater runoff report developed in accordance with the Stormwater Management Manual for Eastern Washington accounting for all impervious and pervious surfaces draining to the roadside ditches. Design storm shall be a Modified SCS Type IA with a 25-year return frequency.
- g. All signage including but not limited to stop signs, speed limit signs and street name signs shall be installed by the developer in accordance with Benton County Standard Plans.
- h. All new power, telephone, cable TV and irrigation shall be installed outside of the County right of way in the appropriate easements. Domestic water piping may be installed within the County right of way in accordance with a valid franchise agreement.
- i. Survey monuments, with cases and covers per Benton County Standard R-14B, shall be placed at all road intersections, points of curvature, points of tangency, centers of cul-de-sacs, section corners and quarter corners. All monuments shall be set by a Professional Land Surveyor licensed to practice in the state of Washington.
- j. Per special conditions of road approach permit 2020-280 the approach on the NE corner of lot 3 on this plat shall be removed and a new paved approach connecting to the new proposed road shall be constructed as part of this subdivision.
- k. Dedicate 60' of right of way to Benton County for road purposes.
- l. Remove the 60' radius temporary turn around on lot 6.
- m. The proposed road shall be paved in its entirety.
- n. The temporary turn-around at the end of the proposed road shall be paved.
- o. Previous comments sent to the developer with plan requirements for road and bridge construction remain in effect.
- p. After final approval of the road construction, one full size Mylar of the record drawings shall be provided to Public Works.
- q. Please add the following notes to the face of the final plat:
  - i. Prior to the construction of any driveway or the issuance of any building permit for any lot within this subdivision the property owner shall obtain a Road Approach Permit from the Benton County Public Works Department and install the required temporary construction access
  - ii. No trees, shrubs, weeds, fencing or other obstructions more than 24 inches in height are permitted within Benton County right of way
  - iii. Property owners that install grass, curbing, rock mulch or other landscaping within the County right of way do so at their own risk. The County will not repair or replace damaged landscaping due to construction or maintenance operations
  - iv. Benton County is not responsible for the maintenance or upkeep of any stormwater retention facility or drainage easements. All such maintenance and upkeep are the responsibility of the underlying property owner

- v. Lots 1 and 3 shall not have direct access to Old Inland Empire Highway
  - vi. The temporary turn-around shall remain in effect until such time “Proposed Road” is extended
  - r. For more information, please contact Cristina Woods at 509-786-5611 or [Cristina.Woods@co.benton.wa.us](mailto:Cristina.Woods@co.benton.wa.us).
2. Applicant shall meet and comply with the requirements of the **Washington State Department of Archeology and Historic Preservation**, including the following:
- a. DAHP has assigned the following Project Tracking Code: 2023-02-01045.
  - b. Our statewide predictive model indicates that there is a high probability of encountering cultural resources within the proposed project area. This is due, in part, to the proximity of the proposed project area to the Yakima River, a resource known to have been important to both Native Americans and settlers in this area. Further, the scale of the proposed ground disturbing actions would destroy any archaeological resources present. Identification during construction is not a recommended detection method because inadvertent discoveries often result in costly construction delays and damage to the resource. Therefore, we recommend a professional archaeological survey of the project area be conducted and a report be produced prior to ground disturbing activities. This report should meet DAHP’s Standards for Cultural Resource Reporting.
  - c. We also recommend that any historic buildings or structures (45 years in age or older) located within the project area are evaluated for eligibility for listing in the National Register of Historic Places on Historic Property Inventory (HPI) forms. We highly encourage the SEPA lead agency to ensure that these evaluations are written by a cultural resource professional meeting the SOI Professional Qualification Standards in Architectural History.
  - d. Please ensure that the DAHP Project Tracking Number is shared with any hired cultural resource consultants and is attached to any communications or submitted reports. Please also ensure that any reports, site forms, and/or historic property inventory (HPI) forms are uploaded to WISAARD by the consultant(s).
  - e. Per a follow up comment dated July 10<sup>th</sup>, 2023 regarding the submitted cultural resource study DAHP concurs with the survey provided and requests an Inadvertent Discover Plan (IDP) be included as part of the construction permit.
  - f. Please contact Sydney Hanson at 360-280-7563 or [Sydney.hanson@dahp.wa.us](mailto:Sydney.hanson@dahp.wa.us) for more information.
3. Applicant shall meet and comply with the requirements of the **US Bureau of Reclamation**, including the following:
- a. The proposed bridge plan, its location, and associated improvement plans have not yet been provided to, nor approved by this agency.
  - b. This plat must not be approved or finalized until the detailed bridge plans approved by Benton County have been provided to the Bureau of Reclamation (Reclamation) Yakima Field Office and the Reclamation required engineering review, the National Environmental Policy Act review, and National Historic Preservation Act review are complete and all changes or actions required in those reviews have been completed and Reclamation approved.
  - c. Other items of concern that have not yet been determined include but are not limited to:
    - i. Water shed management (to include oils and runoff from entering canal)
    - ii. Urban encroachment (resulting in water seepage issues)

- iii. Trespassing on USBR property and risk of entering canal (fences need to be designed and installed in compliance with policy)
  - iv. Canal Operations and Maintenance Road access for Reclamation and preventing unauthorized access.
  - d. Upon receipt of the Benton County approved final plans on the proposed bridge to the Reclamation Yakima Field Office, Reclamation's engineering and policy review can begin along with the necessary National Environmental Policy Act and National Historic Preservation Act reviews.
  - e. Please contact Chad Stuart with the Yakima Field Office at 509-573-8120 for more information.
- 4. Applicant shall meet and comply with the requirements of the **Washington State Department of Fish and Wildlife**, including the following:
  - a. After a desktop review, aerial imagery shows that Parcel 127951000002000 appears to have experienced significant disturbance in recent years, causing a removal of significant shrub and tree cover. Maintaining or improving the existing shrub cover on the area is important for wildlife and continued removal may have a detrimental impact on wildlife use.
  - b. The primary concern that WDFW has identified in this area is potential impacts to the shoreline of the Yakima River. From aerial photographs, it appears that the site contains a riparian zone along the west bank of the river. This vegetation is habitat for wildlife and provides shade for the Yakima River. The vegetation south of the railroad tracks appears to have been reduced in recent years by what appears to have been a small fire. This portion of the Yakima River contains multiple priority species and their associated habitats and as such required to be protected under Benton County Shoreline Master Program Policy Chapter H and Benton County Shoreline Master Program Regulations Section 15.06.030 and 15.06.070.
  - c. WDFW would like to ensure that the riparian area remains intact at the conclusion of any subdivision and subsequent development of this area. Within Parcel 127951000002000, this riparian area ranges from approximately 75 feet to approximately 150 feet from the ordinary high-water line. Benton County Shoreline Master Program Regulations Section 15.06.030, Table 06.030 – 2 states that “new and expanded uses in shoreline jurisdiction shall be located to avoid and minimize intrusion into riparian areas, as well as avoid tree and shrub removal.” In light of the riparian habitat present and need for the protection thereof, WDFW proposes a minimum 150-foot buffer + 25 foot setback for any development within current Parcel 127951000002000.
  - d. WDFW also notes a potential watercourse bisecting Parcel 127951000002000. Such a watercourse may be subject to critical areas codes. WDFW would be happy to coordinate on a site visit to determine if the area meets the definitions of waters of the state.
  - e. Please contact Troy Maikis at 509-312-8117 or Troy.Maikis@dfw.wa.gov for more information.
- 5. Applicant shall meet and comply with the requirements of the **Benton Franklin Health District**. The BFHD has reviewed the short plat proposal and finds that it generally meets their requirements for plats utilizing on-site sewage systems and public water supply provided:
  - a. Your request to extend a waiver approval referenced above to allow for a reduction of minimum usable land area requirements for new subdivisions in a type 5 soils has been reviewed and in accordance with the provisions of Benton-Franklin District Board of Health Rules and Regulations No. 2 and WAC 246-272A is hereby conditionally approved.

- b. This approval is strictly limited to the 56.8-acre long plat proposal and will create 11 lots, 8 of the 11 lots as proposed have identified area sufficient to meet the minimum land area requirements set forth in Benton-Franklin District Board of Health Rules and Regulations No. 2. Proposed lots 4, 5, and 6 do not, based on current testing, meet the minimum usable land area requirements. In addition, this approval is conditioned upon the following: The following statement is placed on the plat:
    - i. The placement of any on-site sewage system on proposed lots 4, 5, and 6 will require the use of an alternative type of sewage system in accordance with Benton-Franklin District Board of Health Rules and Regulations No. 2.
    - ii. Binding site plans for on-site sewage system placement must be established for proposed lots 4, 5, and 6 meeting location requirements for an approved alternative type on-site sewage system.
    - iii. The design of any on-site sewage system on the property must be executed by a licensed Professional Engineer or On-Site Wastewater Treatment System Designer, and installation of said system must be performed by a permitted installer within the Benton Franklin Health District.
  - c. This approval is strictly limited to the previously mentioned site and is conditioned upon said site complying with all other applicable rules and regulations.
  - d. The preceding recommendation shall be valid for a period not to exceed an additional 6 months from this date, shall be non-transferable, and will be declared null and void should the proposal not be developed by that time. This recommendation should not be considered as an approval for any future attempt at further segregation or subdivision of said lots.
  - e. Please contact JoDee Peyton at 509-460-4318 for more information.
6. Applicant shall meet and comply with the requirements of the **Benton REA** including the following:
- a. Please add a 10' utility easement on both sides of the following parcel lines:
    - i. North parcel line of Lot 11
    - ii. Shared line of Lots 11 and 10
    - iii. Shared line of Lots 10 and 9
    - iv. Shared line of Lots 9 and 8
    - v. Shared line of Lots 8 and 7
    - vi. Shared line of Lots 7 and 6
    - vii. Shared line of Lots 6 and 5
  - b. For more information, please contact Scott Stearns at 509-786-8252.
7. Applicant shall meet and comply with the requirements of the **Benton County Fire Marshal** including the following:
- a. All driveways that service single family dwellings in this subdivision shall comply with BCC 3.18.045. A packet of information is attached that references all applicable codes for private driveways.
  - b. For this subdivision to be exempt from the installation of fire hydrants for fire flow, all dwellings and accessory structures shall comply with BCC 3.18.025:

3.18.025 GENERAL EXEMPTIONS. The following are exempt from BCC 3.18.030, BCC 3.18.035, BCC 3.18.036, BCC 3.18.037, BCC 3.18.038, BCC 3.18.039, BCC 3.18.040, BCC 3.18.041, and BCC 3.18.042.

(a) Low Density Exemption - Divisions of land which satisfy all the following requirements:

- (1) Each lot created is at least one (1) gross acre or more in area; and
- (2) The minimum permitted setback distance for all structures, from all lot lines, is twenty-five (25) feet unless greater distances are required by other county regulations (i.e., zoning, building, etc.); and
- (3) The use of each lot created is limited by county regulations or plat covenant to a single family dwelling, duplex or other use which is not multi-family, commercial or industrial.

c. Please contact the Benton County Fire Marshal, Gary Tiplady, at (509) 735-3500 or Gary.tiplady@co.benton.wa.us for more information.

8. Applicant shall meet and comply with the requirements of the **Sunnyside Valley Irrigation District** including the following:

- a. Irrigation distribution facilities and 10' private irrigation easements must be provided to all new lots pursuant to RCW 58.17.310 and must be shown on the final plat to allow all lots to access irrigation water. This includes adjacent parcels with the same point of delivery.
- b. Access for plats and/or subdivisions will not be allowed on SVID operation and maintenance roads.
- c. SVID facilities falling within the parcel boundaries are to be located, surveyed, and shown on the final plat.
- d. Buildings and/or obstructions will not be allowed within SVID easements or rights-of-way.
- e. All irrigation assessments must be paid in full prior to SVID approval.
- f. Refer to [www.SVID.org](http://www.SVID.org) (under the 'Resources for Landowners' tab) for the list of general requirements for plat approval by SVID.
- g. The project will require the purchase of a flowmeter.
- h. Contact SVID for additional short plat requirements and fees specific to this project.
- i. Please contact Rigo Diosdado at (509) 837-6980 or [diosdador@SVID.org](mailto:diosdador@SVID.org) for more information.

9. Applicant shall meet and comply with the requirements of the **Confederated Tribes of the Umatilla Indian Reservation** including the following:

- a. The applicant's updated Cultural Resource Survey dated July 26, 2023 by Plateau CRM needs to address the following:
  - i. Expansion of the scope of the survey to include a larger testing area including but not limited to all ground disturbing activities such as placement of utilities, construction of roads, and other infrastructure associated with building residences.
  - ii. The average shovel depth probe depth of 33 cm is inadequate. Additional testing should be a greater depth such as one meter.

- iii. Additional narrative as to why the authors chose not to recommend additional sampling despite their statement in the conclusions and recommendations that additional sampling will be needed.
  - iv. Inclusion of requirements and recommendations related to the project being within CTUIR ceded territory.
  - v. Adequately address important details necessary for the Section 106 component to the bridge crossing including but not limited to an acknowledgment of proposed bridge crossing the Chandler Power Canal and the portion of the canal that was excluded from report. Also include a description of how the bridge will not have an adverse effect to the NRHP-eligible canal.
  - vi. The testing conducted to date and the absence of additional testing is inadequate for the needs of the proposed project.
  - vii. Justify how the proposed bridge will not impact the NRHP-eligible Chandler Power Canal.
  - viii. The location of the bridge crossing needs to be included on the plat map.
  - ix. If the proposed bridge will cross the canal, then that makes at least that portion of the canal part of the project area and should be included in the survey area.
  - x. The UDP needs to be updated to include contacting the CTUIR.
  - xi. There is a discrepancy between the UDP and the recommendations for monitoring. Please prepare a monitoring plan as a separate appendix.
  - xii. Preparation of a WA State archaeological monitoring permit needs to be completed per RCW 27.53.60.
- b. Please contact Ashley M. Morton at (541) 429-7214 or ashleymorton@ctuir.org

10. Applicant shall meet and comply with the requirements of the **Benton County Planning Division**, including the following:
- a. The applicant shall meet and comply with the SEPA Determination for this application, including the MDNS with mitigation/conditions issued by the Planning Division on June 29, 2023 (**PCM 1.15**).
    - i. Benton County Planning Division recommendations.
    - ii. State of Washington Department of Archeology and Historic Preservation recommendations as outlined in their letters dated February 15, 2022 (**PCM 1.22**).
    - iii. US Bureau of Reclamation recommendations as outlined in their letter dated February 21, 2022 (**PCM 1.23**); and
    - iv. West Benton Fire and Rescue recommendations as outlined in their letter dated February 6, 2022 (**PCM 1.17**).
  - b. The applicant shall meet and comply with the recommendations of the Confederated Tribes of the Umatilla Indian Reservation and obtain final written verification that the CTUIR approves the project and Cultural Resource Survey prior to final plat.
  - c. The submitted Cultural Resource Survey dated July 26, 2023, shows building sites/envelopes within the report. Please show these building envelopes on the plat map as they are the only areas which have been surveyed. If no building envelopes are proposed, amend the Cultural

Resource Survey to include additional testing of all areas of potential building or ground disturbance.

- d. The applicant shall meet and comply with the recommended design and project compliance, stormwater system design, proposed erosion control plan and proposed maintenance plan identified in the Stormwater Pollution Prevention Plan prepared by Pacific Engineering Design, LLC dated December 22, 2019 (PCM 1.10).
- e. Benton County Code 3.26.070(d)(4) requires all subdivisions located on parcels of 5 acres or more to provide base flood elevation data. The applicant shall submit base flood data for the project area.
- f. This parcel is located within Benton County's Rural Water Supply Program. The Applicant must apply for and obtain a mitigation certificate for all lots except Lots 1 (RWSP 2020-053) and 2 (existing exempt residence) prior to final plat approval.
  - i. For more information, please contact the Benton County Planning Division at (509) 786-5612 or rural.water@co.benton.wa.us.
- g. Per WDFW's submitted comments, please show a 150-foot buffer + 25-foot setback from the ordinary high-water mark on the final plat.
- h. Please propose 3 road names for the new road within the plat to be reviewed and approved by the Benton County GIS Department prior to final plat.
  - i. The applicant shall work with Benton County GIS to show the temporary addresses on the final plat map.
- i. Show the location, name, right-of-way widths, and type of surfacing of all streets located within and adjacent to the land to be subdivided on the plat map.
- j. Indicate any areas within the plat having a slope of fifteen (15) percent or greater.
- k. Please include the following signatures blocks on the final plat:
  - i. Owner/Notary
  - ii. Chairman of the Benton County Board of County Commissioners
  - iii. Chairman of the Benton County Planning Commission
  - iv. Benton County Engineer
  - v. Benton REA
  - vi. Benton-Franklin Health District
  - vii. Sunnyside Valley Irrigation District
  - viii. Benton County Treasurer
  - ix. Benton County Assessor
  - x. US Bureau of Reclamation
- l. The following notes shall be placed on the final plat:
  - i. Prior to the granting of a building or factory assembled (FAS) permit for each lot by the County, the applicant for a building or FAS permit must comply with RCW 90.44.050, as currently existing and hereafter amended, regarding public ground water. The applicant must demonstrate that potable water is legally available by presenting (A) evidence of a valid water right permit from the Washington State Department of

- Ecology for the proposed wells for each lot; (B) a water well report filed and received by the Washington State Department of Ecology for an exempted well that complies with the 5,000 gallon per day exemption described in RCW 90.44.050, as currently existing and hereafter amended; or (C) a written approval of the Washington State Department of Health that a group A or group B public water supply system has been installed and is available for providing potable water to the lot.
- ii. During construction on each property, all construction debris shall be maintained on-site and properly disposed of. Dust control measures including an adequate water supply shall be provided.
  - iii. Address numbers [noted in brackets] are subject to change until the exact location of access onto the plat is determined.
  - iv. The utility easements shown hereon are hereby granted for the use, access and maintenance by the platted property's current utility provider. Said utility easements are for the use, access and maintenance of electric power, telephone, cable and any other defined utilities to and or through said tract.
  - v. This plat is located within the Benton County Rural Water Supply Program Mitigation Area. All new lots and dwelling units located within this plat are required to comply with Benton County Code Title 15.18, Rural Water Supply Program, as amended. All new lots shall acquire a mitigation certificate from Benton County or provide a valid domestic water right and all new dwelling units within the Mitigation Area are required to meter their water usage through a meter approved by the County and pay an annual program fee in an amount set by the County.
  - vi. Development utilizing ground wells under the Department of Ecology's Groundwater Exemption is limited to a total of 14 lots in perpetuity for the entire project area and any future development under the Washington State Department of Health's standard of 350 gallons per day (5,000 gallons per day/14 lots = 357 gallons per day per lot).
  - vii. Portions of this property are located within the 100-year floodplain as designated by the Federal Emergency Management Agency (FEMA) and are subject to the conditions set forth by the Benton County Flood Damage Prevention Ordinance, which may include elevating structures. Please contact the Benton County Planning Division for further information.
  - viii. Portions of this plat are located within a critical resource area classified as geologically hazardous (steep slopes greater than 15%). Please contact the Benton County Planning Division for more information.
  - ix. Any development within 200 feet of the Ordinary High-Water Mark shall comply with Benton County's Shoreline Master Program.
  - x. Portions of this short plat are located within Freshwater Emergent Wetlands as identified by the US Fish and Wildlife Service's National Wetland Inventory. Before any land use activities may occur within these areas a critical area report may be required. Please contact the Benton County Planning Division for further information.
  - xi. Per BCC 3.18.025(a)(2) the minimum permitted setback distance for all structures on all lots within this plat, shall be a minimum of twenty-five (25) feet from all property lines unless greater distances are required by other county regulations (i.e., zoning, building, etc.) in lieu of the installation of fire hydrants within this plat.

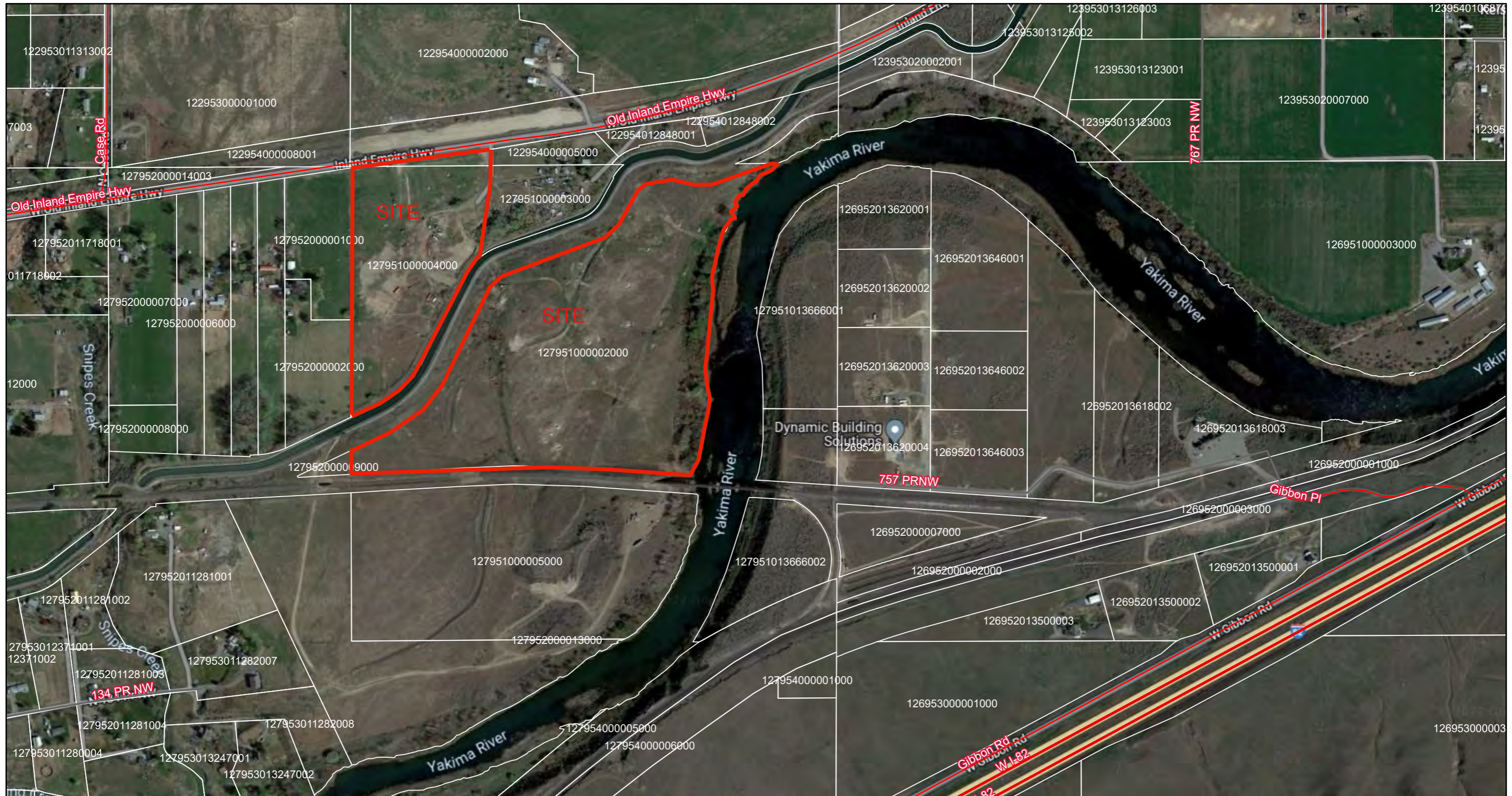
11. Preliminary plat approval shall be effective for 5 (five) years from the date of Board of County Commissioner approval. Exceptions shall comply and approved subject to the provisions of BCC 9.05.110 (e) as currently existing or hereafter amended.
12. Any amendments to an approved preliminary plat must be completed in accordance with BCC 9.05.140 as currently existing or hereafter amended.
13. Prior to the final plat being reviewed for final approval, the requirements of the Benton County Planning Division, Benton County Fire Marshal, Benton County Engineer, Benton Franklin Health District, and other commenting agencies and conditions shall be met and complied with.
14. Final Plat applications shall be submitted to the Planning Division. An applicant shall submit a final plat application that follows BCC 9.07 - Final Plat standards and requirements, as currently existing or hereafter amended:
15. All lots in the final plat shall meet the design standards for final plat approval as specified in Benton County Code 9.09 - Design and Improvements, as currently existing or hereafter amended, and meet all of the zoning requirements as specified in Benton County Code, Title 11 - Zoning, as currently existing or hereafter amended.
16. The location and size of all irrigation and utility easements necessary for electric power, telephone service, water, sewer and cable TV are to be coordinated with the proper utilities and/or reviewing agencies and shown on the final plat. The developer will need to open the utility trenches, including road crossings, based on individual utility requirements and specifications.
17. Address numbers shall be coordinated with the Benton County GIS Department and placed on the final plat. Addresses [noted in brackets] are subject to change until the exact location of the dwelling and access onto the plat is determined.
18. The applicant shall coordinate with the Post Office regarding centralized box unit (CBU) locations for the development, if necessary.
19. All of the statements that are required to be on the notes of the plat shall be either: 1) recorded as a restrictive covenant on each applicable parcel with the County Auditor, or 2) described in detail in the developer's covenants that are recorded and provided to each lot owner, prospective landowner, and the Planning Division at the time of final plat approval and recording.
20. That the preliminary plat is modified in all necessary respects so that the final plat will reflect the requirements of approval. If the final plat will be in conflict with any of the conditions of approval as adopted by the Planning Commission as a result of the modifications, then the final plat must be reviewed by the Planning Commission at a public meeting for approval prior to sending the final plat to the Board of County Commissioners.

**SUGGESTED MOTION:**

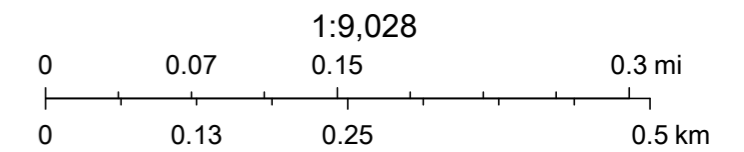
The Planning Commission forwards a **recommendation of approval** to the Benton County Board of Commissioners for applications SUB 2022-004/EA 2022-051, subject to the seven (7) findings of fact and twenty (20) conditions of approval as stated in the staff memo (PCM 1.1) dated August 2, 2023, and that the Chairman, in conjunction with the Secretary of the Planning Commission, prepare and adopt written findings and conclusions reflecting the commission's recommendation for approval that articulate and are consistent with the findings, conclusions and recommendations made by the Planning Commission tonight.

# EA 2022-051 SUB 2022-004 Vicinity Map

PCM 1.2



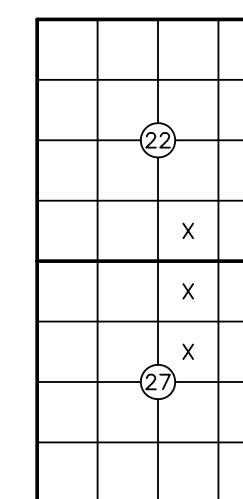
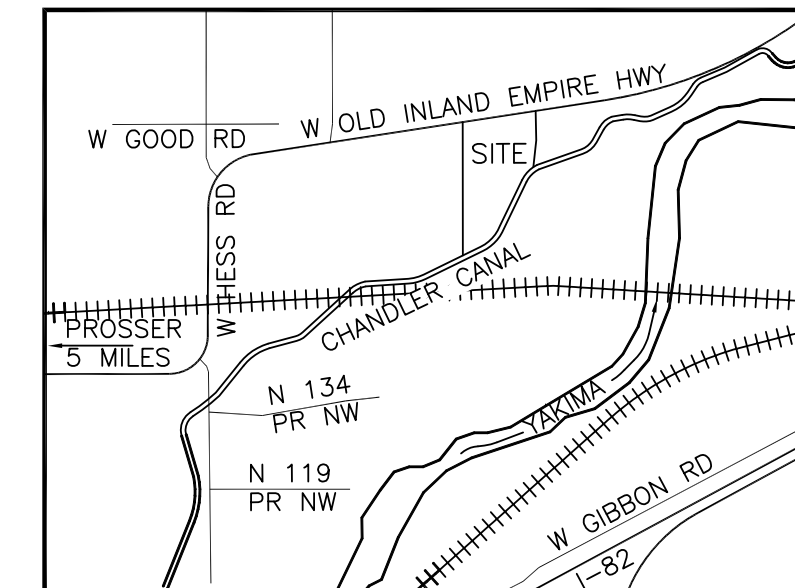
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Google Inc

PRELIMINARY PLAT OF BLAIR LOOP DEV

PREPARED FOR RQ BRADLEY, LLC PORTIONS OF THE SE 1/4 SECTION 22 & NE 1/4, SECTION 27, TOWNSHIP 9 NORTH, RANGE 25 EAST, WILLAMETTE MERIDIAN, BENTON COUNTY, WASHINGTON



DESCRIPTIONS

PARCEL A THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 9 NORTH, RANGE 25 EAST, W.M., RECORDS OF BENTON COUNTY, WASHINGTON, DEFINED AS FOLLOWS:

THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, AND THAT PORTION OF GOVERNMENT LOT 1 IN SAID SECTION 22, LYING SOUTHERLY OF OLD INLAND EMPIRE HIGHWAY AND WESTERLY OF LINE BEARING SOUTH 45° EAST FROM POINT OF INTERSECTION OF WEST LINE OF SAID GOVERNMENT LOT 1 AND SOUTHERLY RIGHT OF WAY LINE OF OREGON-WASHINGTON RAILROAD AND NAVIGATION COMPANY RAILROAD.

EXCEPT THAT PORTION OF SAID SECTION 22 LYING WITHIN THE FOLLOWING DESCRIBED PARCEL:

THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER AND GOVERNMENT LOT 2 IN SECTION 27, TOWNSHIP 9 NORTH, RANGE 25 EAST, WILLAMETTE MERIDIAN AND THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER AND GOVERNMENT LOT 1 IN SECTION 22, TOWNSHIP 9 NORTH, RANGE 25 EAST, WILLAMETTE MERIDIAN, BENTON COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID GOVERNMENT LOT 1, SECTION 22, TOWNSHIP 9 NORTH, RANGE 25 EAST, W.M., THENCE NORTH 07°33'32" EAST ALONG THE WEST LINE THEREOF 189.52 FEET TO A POINT ON INTERSECTION WITH THE SOUTHERLY LINE OF THE OREGON-WASHINGTON RAILWAY AND NAVIGATION COMPANY RIGHT OF WAY; THENCE SOUTH 44°26'28" EAST 12.24 FEET TO THE SOUTHERLY MARGIN OF THE OLD INLAND EMPIRE HIGHWAY AND THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 44°26'28" EAST 183.76 FEET TO THE NORTHERLY LINE OF THE CHANDLER CANAL RIGHT OF WAY; THENCE SOUTHWESTERLY ALONG SAID RIGHT OF WAY THROUGH A CURVE TO THE LEFT, 101.58 FEET THROUGH A CENTRAL ANGLE OF 23°11'19" AND A RADIUS OF 251.00 FEET; THENCE SOUTH 60°17'10" EAST RADIAL TO SAID CURVE 5.00 FEET; THENCE SOUTH 29°42'50" WEST 159.15 FEET TO A POINT OF CURVE; THENCE ALONG SAID CURVE TO THE RIGHT 122.80 FEET THROUGH A CENTRAL ANGLE OF 49°23'30" AND A RADIUS OF 174.20 FEET TO A POINT OF TANGENCY; THENCE SOUTH 70°06'20" WEST 484.12 FEET TO A POINT OF CURVE; THENCE ALONG SAID CURVE TO THE LEFT, 59.00 FEET THROUGH A CENTRAL ANGLE OF 9°53'58" AND A RADIUS OF 341.50 FEET; THENCE NORTH 71°13'37" EAST 322.67 FEET; THENCE NORTH 00°06'15" WEST 213.70 FEET TO THE SOUTHERLY MARGIN OF SAID OLD INLAND EMPIRE HIGHWAY; THENCE NORTH 82°07'36" EAST ALONG SAID MARGIN 438.05 FEET TO A POINT OF CURVE; THENCE ALONG SAID CURVE TO THE LEFT 140.18 FEET THROUGH A CENTRAL ANGLE OF 1°23'41" AND A RADIUS OF 5,758.84 FEET TO THE TRUE POINT OF BEGINNING;

AND EXCEPT ANY PORTION LYING WITHIN PARCEL DEEDED TO BENTON COUNTY BY INSTRUMENT RECORDED UNDER AUDITOR'S FILE NO. 413945.

PARCEL B THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 9 NORTH, RANGE 25 EAST, W.M., RECORDS OF BENTON COUNTY, WASHINGTON, WEST OF YAKIMA RIVER AND NORTH OF N.P. RAILWAY RIGHT OF WAY, LESS THE WEST 12 FEET OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER FOR ROAD RIGHT OF WAY AND EXCEPT THE WEST 12 FEET OF THE NORTH 16.5 FEET OF LOT 3, LESS PROSSER IRRIGATION DISTRICT CANAL, EXCEPT ANY PORTION THEREOF LYING SOUTH OF CANAL, AND EXCEPT THAT PORTION OF SECTION 27 LYING WITHIN THE FOLLOWING DESCRIBED PARCEL: THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER AND GOVERNMENT LOT 2 IN SECTION 27, TOWNSHIP 9 NORTH, RANGE 25 EAST, WILLAMETTE MERIDIAN AND THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER AND GOVERNMENT LOT 1 IN SECTION 22, TOWNSHIP 9 NORTH, RANGE 25 EAST, WILLAMETTE MERIDIAN, BENTON COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID GOVERNMENT LOT 1, SECTION 22, TOWNSHIP 9 NORTH, RANGE 25 EAST, W.M., THENCE NORTH 07°33'32" EAST ALONG THE WEST LINE THEREOF 189.52 FEET TO A POINT ON INTERSECTION WITH THE SOUTHERLY LINE OF THE OREGON-WASHINGTON RAILWAY AND NAVIGATION COMPANY RIGHT OF WAY; THENCE SOUTH 44°26'28" EAST 12.24 FEET TO THE SOUTHERLY MARGIN OF THE OLD INLAND EMPIRE HIGHWAY AND THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 44°26'28" EAST 183.76 FEET TO THE NORTHERLY LINE OF THE CHANDLER CANAL RIGHT OF WAY; THENCE SOUTHWESTERLY ALONG SAID RIGHT OF WAY THROUGH A CURVE TO THE LEFT, 101.58 FEET THROUGH A CENTRAL ANGLE OF 23°11'19" AND A RADIUS OF 251.00 FEET; THENCE SOUTH 60°17'10" EAST RADIAL TO SAID CURVE 5.00 FEET; THENCE SOUTH 29°42'50" WEST 159.15 FEET TO A POINT OF CURVE; THENCE ALONG SAID CURVE TO THE RIGHT 122.80 FEET THROUGH A CENTRAL ANGLE OF 49°23'30" AND A RADIUS OF 174.20 FEET TO A POINT OF TANGENCY; THENCE SOUTH 70°06'20" WEST 484.12 FEET TO A POINT OF CURVE; THENCE ALONG SAID CURVE TO THE LEFT, 59.00 FEET THROUGH A CENTRAL ANGLE OF 9°53'58" AND A RADIUS OF 341.50 FEET; THENCE NORTH 71°13'37" EAST 322.67 FEET; THENCE NORTH 00°06'15" WEST 213.70 FEET TO THE SOUTHERLY MARGIN OF SAID OLD INLAND EMPIRE HIGHWAY; THENCE NORTH 82°07'36" EAST ALONG SAID MARGIN 438.05 FEET TO A POINT OF CURVE; THENCE ALONG SAID CURVE TO THE LEFT 140.18 FEET THROUGH A CENTRAL ANGLE OF 1°23'41" AND A RADIUS OF 5,758.84 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL C THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER LYING SOUTH OF THE KID CANAL; TOGETHER WITH THAT PORTION OF GOVERNMENT LOT 2 LYING SOUTH OF THE KID CANAL; AND TOGETHER WITH THAT PORTION OF GOVERNMENT LOT 3 LYING NORTH OF THE NORTHERN PACIFIC RAILROAD RIGHT-OF-WAY AND LYING SOUTH OF THE KID CANAL; EXCEPT CANAL RIGHT OF WAY; ALL IN SECTION 27, TOWNSHIP 9 NORTH, RANGE 25 EAST, WM, BENTON COUNTY, WASHINGTON; AND EXCEPT ROADS.

SURVEYOR'S CERTIFICATION

I, ASHLEY D. GARZA, A LAND SURVEYOR REGISTERED IN THE STATE OF WASHINGTON, HEREBY CERTIFY THAT THE PLAT AS SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN AND THAT THE LOT CORNERS HAVE BEEN STAKED ON THE GROUND AS SHOWN HEREON.



ASHLEY D. GARZA CERTIFICATE NO. 545534 DATE

SURVEYOR'S NOTES

- 1. DATE OF SURVEY/MONUMENTS VISITED: MAY 2018.
2. BASIS OF BEARING: NAD83(91) WASHINGTON STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.
3. UNITS OF MEASURE: US SURVEY FEET GRID DISTANCES. MULTIPLY GRID DISTANCES BY A COMBINED SCALE FACTOR OF 1.000098314 TO ACHIEVE GROUND DISTANCES.
4. EQUIPMENT/PROCEDURES: TOPCON GR3 GNSS, RTK METHOD. LINEAR CLOSURES MEET OR EXCEED STANDARDS CONTAINED IN WAC 332-130-090.
5. VERTICAL DATUM: NAVD83.
6. CONTOUR INTERVAL: 2 FEET.
7. (R1) RECORD OF SURVEY, VOLUME 1 OF SURVEYS, PAGE 357, RECORDS OF BENTON COUNTY, WASHINGTON.

SURVEYOR'S NOTES

- 8. (R2) RECORD OF SURVEY, VOLUME 1 OF SURVEYS, PAGE 4105, RECORDS OF BENTON COUNTY, WASHINGTON.
9. (R3) USBR YAKIMA PROJECT CHANDLER CANAL RIGHT-OF-WAY MAP REVISED MARCH 1, 1954.
10. FOUND 3" BRASS CAP IN MONUMENT CASE
11. FOUND 1" IRON PIPE UNLESS NOTED OTHERWISE
12. CALCULATED POINT, NOT FOUND OR SET
13. POWER POLE
14. PHONE RISER/JUNCTION BOX
15. IRRIGATION VALVE VAULT
16. FENCE
17. OVERHEAD POWER LINE
18. RAILROAD

- 21. GRAVEL
22. DIRT ROAD

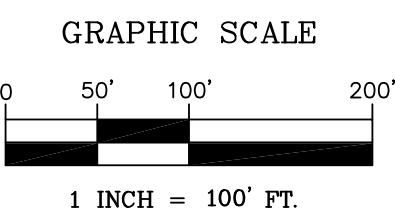


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RQ BRADLEY LLC 84009 W OLD INLAND EMPIRE HWY BENTON COUNTY, WA P:206.763.8800

PROJECT NO. 18007 DRAWN BY: JLS/ADG CHECKED BY: CCA SCALE: 1" = 100' REVISION 0 SHEET 1 OF 1 PPI

**Community Development Department**  
 Prosser Office: 620 Market Street, 1<sup>st</sup> Floor  
 Kennewick Office: 102206 East Wiser Parkway  
[www.co.benton.wa.us](http://www.co.benton.wa.us)



**Planning Division**  
 (509) 786-5612  
 P.O. Box 910, Prosser, WA 99350  
[planning.department@co.benton.wa.us](mailto:planning.department@co.benton.wa.us)

## NOTICE OF PUBLIC HEARING

NOTICE OF HEARING BEFORE THE BENTON COUNTY PLANNING COMMISSION in the matter of county planning at their regular meeting on August 8, 2023, at 6:00 p.m., via in person and virtual meeting format in the Meeting Room on the first floor of the Courthouse, 620 Market Street, Prosser WA. The entry to the meeting room is located off Main Street on the East side of the Courthouse. To find information on virtual attendance options, including streaming video, WebEx video conferencing and telephone, please visit [www.tinyurl.com/BCPublicNotice](http://www.tinyurl.com/BCPublicNotice).

NOTICE IS HEREBY GIVEN that public comment will be taken on the following proposed application before the Planning Commission at this meeting. At this hearing, the Planning Commission may recommend approval, or disapproval of the proposal to the Benton County Board of Commissioners. All parties concerned may present any support or objections for the application. Information concerning the application can be obtained at the Benton County Planning Division, by calling 736-3086 (Tri-Cities) or 786-5612 (Prosser) or by visiting [www.tinyurl.com/BCPublicNotice](http://www.tinyurl.com/BCPublicNotice).

SUB 2022-004 - The preliminary plat of Blair Loop a subdivision of 64.7 acres into 11 lots with an average lot size of 15.5 acres. **The site is located in unincorporated Benton County south of Old Inland Empire Highway, on both the westerly and easterly sides of the Chandler Canal in Sections 22 and 27, Township 9 North, Range 25 East, W.M. in Prosser, WA on parcel numbers 122954000004000, 127951000004000, and 127951000002000.**

Applicant: Jerrod Sessler.

NOTICE IS FURTHER GIVEN that the proposed subdivision application has been reviewed under the requirements of the State Environmental Policy Act and a Mitigated Determination of Non-Significance (DNS) was issued on June 29, 2023. Accordingly, an Environmental Impact Statement was not required on this proposal.

Comments regarding the proposed amendments or SEPA determinations of the proposals may also be submitted in writing to the Benton County Planning Division; P.O. Box 910, Prosser, WA 99350 or via email to [planning.department@co.benton.wa.us](mailto:planning.department@co.benton.wa.us) by 3 p.m. on Friday August 6, 2023,. No individual with a disability shall be denied the benefit of participating in such meetings. If you wish to use auxiliary aids or require assistance to comment at a public meeting, please contact the Benton County Planning Division at least ten days prior to the meeting date to make arrangements for special needs.

Dated this 14th day of July 2023.

Martin Sheeran, Chairman  
 Benton County Planning Commission

Michelle Cooke, Manager  
 Planning Division

PUBLISH: July 26, 2023

**Community Development Department**

Prosser Office: 620 Market Street, 1<sup>st</sup> Floor  
Kennewick Office: 102206 East Wiser Parkway  
[www.co.benton.wa.us](http://www.co.benton.wa.us)

**Planning Division**

(509) 786-5612  
P.O. Box 910, Prosser, WA 99350  
[planning.department@co.benton.wa.us](mailto:planning.department@co.benton.wa.us)

**FINDING OF NEED FOR ADDITIONAL  
PROCESSING TIME**

File No. SUB 2022-004 and EA 2022-051  
Blair Loop Plat

**FINDING**

For the reasons set forth below, the Benton County Planning Manager hereby finds that additional processing time of up to 60 days is necessary in connection with the SEPA review and preliminary plat application submitted by Jerrod Sessler, 84009 W OIE Hwy, Prosser, WA 99350.

1. The above referenced preliminary application and environmental checklist was determined to be complete by the Benton County Community Development Department on December 29, 2022;
2. The Community Development Department has determined that a revised preliminary plat showing existing structures on the property is necessary per Benton County Code 9.05.060(b)(1) to ensure an accurate review of the application is made;
3. The Community Development Department has determined that an extension of time is warranted and necessary to allow the applicant/surveyor to revise the plat map;
4. Consequently, an additional processing time of up to 60 days is justified and necessary with respect to the above referenced application.

Dated this 9th day of January 2023.

Michelle Cooke, Planning Manager

**Community Development Department**  
Prosser Office: 620 Market Street, 1<sup>st</sup> Floor  
Kennewick Office: 102206 East Wiser Parkway  
[www.co.benton.wa.us](http://www.co.benton.wa.us)



**Planning Division**  
(509) 786-5612  
P.O. Box 910, Prosser, WA 99350  
[planning.department@co.benton.wa.us](mailto:planning.department@co.benton.wa.us)

January 9, 2023

Jerrod Sessler  
84009 W OIE HWY  
Prosser, WA 99350

**Re:** SUB 2022-004 and EA 2022-051  
Blair Loop Plat  
Additional Processing Time - Extension

Dear Mr. Sessler,

As we recently discussed, it has been determined a revised plat map is necessary for Preliminary Plat SUB 2022-004 and EA 2022-051.

Benton County has determined that the plat map initially submitted with the application does not show existing structures on the property. Showing the location of these permanent buildings on the plat map is required by Benton County Code 9.05.060(b)(1).

With the need for a revised and accurate plat map for agencies to review, your application will be placed on a hold up to 60 days to allow you time to have the map updated. Once a revised map is submitted, our office will continue the processing of your subdivision application.

If you have any questions or concerns, please do not hesitate to contact me at 509-786-5612.

Sincerely,

Michelle Cooke, Planning Manager  
Community Development Department

**Community Development Department**  
Prosser Office: 620 Market Street, 1<sup>st</sup> Floor  
Kennewick Office: 102206 East Wiser Parkway  
[www.co.benton.wa.us](http://www.co.benton.wa.us)



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## **FINDING OF NEED FOR ADDITIONAL PROCESSING TIME**

File No. Blair Loop Preliminary Plat and Environmental Assessment  
EA 2022-051 and SUB 2022-004

### **FINDING**

For the reasons set forth below, the Benton County Planning Manager hereby finds that additional processing time of up to one (1) year is necessary in connection with the SEPA review and preliminary plat of Blair Loop as submitted by Jerrod Sessler.

1. The above referenced preliminary application and environmental checklist was submitted to the Benton County Planning Division on December 15, 2022.
2. The Planning Division has determined that additional information in the form of an archeological survey, as requested by the Washington State Department of Archaeology and Historic Preservation, is needed in order to proceed with the environmental review of the project and preliminary plat.
3. The Planning Division has determined that an extension of time is warranted and necessary for the review of the preliminary plat due to the Washington State Department of Archaeology and Historic Preservation requirements. The requirement for an archeological survey will delay the processing of the SEPA and preliminary plat application while the survey and applicable documentation is being completed.
4. Consequently, an additional processing time of up to one (1) year is justified and necessary with respect to the above referenced application.

Dated this 22<sup>nd</sup> day of February 2023.



Michelle Cooke, Planning Manager  
Community Development Department

**Community Development Department**  
Prosser Office: 620 Market Street, 1<sup>st</sup> Floor  
Kennewick Office: 102206 East Wiser Parkway  
[www.co.benton.wa.us](http://www.co.benton.wa.us)



**Planning Division**  
(509) 786-5612  
P.O. Box 910, Prosser, WA 99350  
[planning.department@co.benton.wa.us](mailto:planning.department@co.benton.wa.us)

February 22, 2023

Jerrod Sessler  
84009 W OIE Hwy  
Prosser, WA 99350

**Re:** Blair Loop Preliminary Plat and Environmental Assessment  
SUB 2022-004/EA 2022-051

Dear Mr. Sessler,

During the review of EA 2022-051 and SUB 2022-004, the Washington State Department of Archaeology and Historic Preservation submitted a letter, dated February 15, 2023, requesting an archeological survey be completed on your project site.

While you are conducting the survey and meeting the necessary requirements of the Washington State Department of Archaeology and Historic Preservation, the Planning Division will place your above-referenced applications on hold. When the Washington State Department of Archaeology and Historic Preservation has provided the Planning Division verification that the impacts or potential impacts have been addressed at the site, the County's environmental determination (EA 2022-051) can be made and the review of the preliminary plat (SUB 2022-004) will continue.

If you have any questions or concerns, please do not hesitate to contact the Planning Division at 786-5612 or [planning.department@co.benton.wa.us](mailto:planning.department@co.benton.wa.us).

Sincerely,



Michelle Cooke, Planning Manager  
Community Development Department

**BENTON COUNTY PRELIMINARY PLAT APPLICATION**

File No. 2022-004



Subdivision Name: BLAIR LOOP

1. Applicant Name: JERROD SESSLER  
Applicant Address: 84009 W OIE 99350  
Telephone number: Home 509-654-4300 Work \_\_\_\_\_

2. If you wish to be contacted via email, please list your email address: \_\_\_\_\_  
JERROD@HOMETASK.COM

3. Legal Owners Name: RQ BRADLEY LLC  
Legal Owners Address: 84009 W OIE 99350  
Telephone number: Home \_\_\_\_\_ Work \_\_\_\_\_

4. Name and address of land surveyor PERMIT SURVEYING INC.  
2245 ROBERTSON DRIVE  
Telephone 509-375-4123

5. Name and address of engineer PACIFIC ENGINEERING  
Telephone 206-431-7970

6. Parcel number and Legal description of property included in the preliminary plat:  
127957000002000

7. **Land Use Information:**  
a. Total area involved ~ 70 ACRES                      c. Smallest lot area 5 ACRES  
b. Total number of lots 11                                      d. Average lot area 5+ ACRES

e. Acreage in parks 0

g. Total acreage of public streets 3 ACRES

f. Length of public streets 1 mile

8. Proposed annexation plans N/A

9. Plat will be served by:  
Water: Individual Wells  City Water \_\_\_\_\_

Name of City Provider \_\_\_\_\_

Private Water System  Name & Address of Private System ON-SITE group well

Sewer: Septic Tank  City Sewer \_\_\_\_\_ Private System \_\_\_\_\_

Power: P.U.D. \_\_\_\_\_ R.E.A.

Telephone: Frontier Telephone  Sprint Telephone \_\_\_\_\_

Natural Gas: Yes \_\_\_\_\_ No  Name of Utility \_\_\_\_\_

Cable T.V. Yes \_\_\_\_\_ No  Name of Utility \_\_\_\_\_

Irrigation: Yes  No \_\_\_\_\_ Name of Utility SUNNYSIDE

Private Irrigation Lines: Yes  No \_\_\_\_\_

10. School District Prosser

11. Fire District FIRE DISTRICT 1

12. Any other comments or information that is significant \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

13. Will this plat be finalized in phases? Yes \_\_\_\_\_ No  If so, how many? \_\_\_\_\_

14. Comprehensive Plan Designation YES

15. Zoning Designation R25



Construction Stormwater General Permit

# Stormwater Pollution Prevention Plan (SWPPP)

RECEIVED

DEC 15 2022

for

**Sessler Plat Benton County**

Site Address: 84009 W Old Inland Empire Hwy, Benton Co. Planning Dept.  
Benton County, Prosser, WA 99350

Parcel # 122954000004000, 127951000004000 & 127951000002000

Prepared for:  
**Eastern Wahington**

Permittee / Owner	Developer	Operator / Contractor
Jerrod Sessler	HOME TASK BRANDS	TBD

**Certified Erosion and Sediment Control Lead (CESCL)**

Name	Organization	Contact Phone Number
TBD	TBD	TBD

**SWPPP Prepared By**

Name	Organization	Contact Phone Number
Jingsong Feng, P.E.	Pacific Engineering Design, LLC	206-431-7970

**SWPPP Preparation Date**

December 22, 2019

**Project Construction Dates**

Activity / Phase	Start Date	End Date
Construction	06-01-2020	5-31-2021

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### Appendix/Glossary

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- A. Site Map
- B. BMP Detail
- C. Correspondence
- D. Site Inspection Form
- E. Construction Stormwater General Permit (CSWGP)
- F. 303(d) List Waterbodies / TMDL Waterbodies Information
- G. Contaminated Site Information
- H. Engineering Calculations

# 1 Project Information

Project/Site Name: **Sessler Plat Benton County**  
Street/Location: **84009 W Old Inland Empire Hwy, Prosser**  
County: **Benton** State: **WA** Zip code: **99350**  
Subdivision: **N/A**  
Receiving waterbody: **Yakima River**

## 1.1 Existing Conditions

Total acreage (including support activities such as off-site equipment staging yards, material storage areas, borrow areas).

Total acreage: **64.7**  
Existing structures: **Vacant Lots**  
Drainage patterns: **Majority of the site slopes gently towards the Southeast to Yakima River**  
Existing Vegetation: **There is approximately 100 feet of fall across the property. Soil maps reveal that 42.8% of the parcel is covered by Starbuck rocky silt loam with 5 to 45% slopes, 20.6% Wamba Silt loam 0 to 2% slopes and rest of some othey type of soil.**

Critical Areas  
(wetlands, streams,  
high erosion risk, steep  
or difficult to stabilize  
slopes): **No Critical area on site**

List of known impairments for 303(d) listed or Total Maximum Daily Load (TMDL) for the receiving waterbody: **None.**



Table 1 includes a list of suspected and/or known contaminants associated with the construction activity.

**Table 1 – Summary of Site Pollutant Constituents**

Constituent (Pollutant)	Location	Depth	Concentration
Construction vehicle-produced pollutants	Disturbed portion of site	unknown	unknown

## 1.2 Proposed Construction Activities

Description of site development (example: subdivision):

**Subdivide property into 11 lots.**

Description of construction activities (example: site preparation, demolition, excavation):

**Site is currently vacant lot. Proposed development includes construction of 11 single family house with proposed access road.**

Description of site drainage including flow from and onto adjacent properties. Must be consistent with Site Map in Appendix A:

**Runoff from the road is collected by the road side ditch that drains towards Southeast through sheet dispersion.**

Description of final stabilization (example: extent of revegetation, paving, landscaping):

**The 64.7 acre site is currently vacant lot. Site will be developed for 11 single family lots with proposed county access road.**

*Contaminated Site Information:*

Proposed activities regarding contaminated soils or groundwater (example: on-site treatment system, authorized sanitary sewer discharge):

**There are no known contaminated soils or groundwater issues on the site. Stormwater of this project will be dispersed on site. Onsite sewer will be private septic.**

## 2.1 The 13 Elements

### 2.1.1 Element 1: Mark Clearing Limits

List and describe BMPs:

**BMP C101 – Preserving Natural Vegetation. Preserve undisturbed areas on site.**

**BMP C103 – High Visibility Fence. The undisturbed areas on site will be protected by use of high visibility fencing along the proposed uphill limits of disturbance.**

**BMP C233 – Silt Fence. Along with high visibility fencing, silt fencing will also be installed along the downhill limits of disturbance. This will be used to keep any surface flow generated silts and particulates from exiting the site and entering the Sunrise Boulard East Right of way.**

Installation Schedules:

**High visibility fencing and silt fencing will be the first elements installed after flagging the limits of disturbance and prior to beginning construction.**

Inspection and Maintenance plan:

**Weekly inspection is required of both the high visibility fencing and the silt fencing. Additionally, the silt fencing should be inspected after every rain event and any buildup of sediment removed. Any needed repairs should be performed immediately.**

Responsible Staff:

**CESCL, General Contractor**

## **BMP C101E: Preserving Natural Vegetation**

### ***Purpose***

The purpose of preserving natural vegetation is to reduce erosion wherever practicable. Limiting site disturbance is the single most effective method for reducing erosion. For example, conifers can hold up to about 50% of all rain that falls during a storm. Up to 20% to 30% of this rain may never reach the ground but is taken up by the tree or evaporates. Another benefit is that the rain held in the tree can be released slowly to the ground after the storm.

### ***Conditions of Use***

Natural vegetation should be preserved on steep slopes, near perennial and intermittent receiving waters or swales, and on building sites in wooded areas.

- As required by the local jurisdiction.

- Backfill the trench as soon as possible.
- Tunnel beneath root systems as close to the center of the main trunk to preserve most of the important feeder roots.

Some problems that can be encountered are the following:

- In general, most trees native to eastern Washington do not readily adjust to major changes in environment and special care should be taken to protect these trees.
- The danger of windthrow increases where dense stands of coniferous trees have been thinned. Other species (unless they are on shallow, wet soils less than 20 inches deep) have a low windthrow hazard.
- Cottonwoods, maples, and willows have water-seeking roots. These can cause trouble in sewer lines and infiltration fields. On the other hand, they thrive in high moisture conditions that other trees would not.
- Thinning operations in pure or mixed stands of grand fir, Pacific silver fir, noble fir, Sitka spruce, western redcedar, western hemlock, Pacific dogwood, and red alder can cause serious disease problems. Disease can become established through damaged limbs, trunks, roots, and freshly cut stumps. Diseased and weakened trees are also susceptible to insect attack.

### ***Maintenance Standards***

- Inspect flagged and/or fenced areas regularly to make sure flagging or fencing has not been removed or damaged. If the flagging or fencing has been damaged or visibility reduced, it shall be repaired or replaced immediately and visibility restored.
- If tree roots have been exposed or injured, "prune" cleanly with an appropriate pruning saw or loppers directly above the damaged roots and recover with native soils. Treatment of sap flowing trees (e.g., fir, hemlock, pine, soft maples) is not advised as sap forms a natural healing barrier.

## **BMP C103E: High-Visibility Fence**

### ***Purpose***

High-visibility fencing is intended to:

- Restrict clearing to approved limits;
- Prevent disturbance of sensitive areas, their buffers, and other areas required to be left undisturbed;
- Limit construction traffic to designated construction entrances, exits, or internal roads; and
- Protect areas where marking with survey tape may not provide adequate protection.

### ***Conditions of Use***

## Design and Installation Specifications

- Contributing area of  $\leq 1$  acre or in combination with sediment basin in a larger site.
- Use in combination with other construction stormwater BMPs.
- Maximum slope steepness (perpendicular to the silt fence line) of 1H:1V.
- Maximum sheet or overland flow path length to the silt fence of 100 feet.
- Do not allow flows  $> 0.5$  cubic feet per second.

Use geotextile fabric that meets the standards indicated in [Table 7.19: Geotextile Fabric Standards for Silt Fence](#). All of the listed geotextile properties are minimum average roll values (i.e., the test result for any sampled roll in a lot shall meet or exceed the values shown in Table 7.19: Geotextile Fabric Standards for Silt Fence).

**Table 7.19: Geotextile Fabric Standards for Silt Fence**

Geotextile Property	Minimum Average Roll Value
Polymeric Mesh Apparent Opening Size (ASTM D4751)	0.60 mm maximum for slit film wovens (No. 30 sieve)
	0.30 mm maximum for all other geotextile types (No. 50 sieve)
	0.15 mm minimum for all fabric types (No. 100 sieve)
Water Permittivity (ASTM D4491)	0.02 sec <sup>-1</sup> minimum
Grab Tensile Strength (ASTM D4632)	180 lb minimum for extra strength fabric 100 lb minimum for standard strength fabric
Grab Tensile Strength (ASTM D4632)	30% maximum
Ultraviolet Resistance (ASTM D4355)	70% minimum

- Support standard strength geotextiles shall be supported with wire mesh, chicken wire, 2- by 2-inch wire, safety fence, or jute mesh to increase the strength of the geotextile Silt fence materials are available that have synthetic mesh backing attached.
- Silt fence material shall contain ultraviolet ray inhibitors and stabilizers to provide a minimum of 6 months of expected usable construction life at a temperature range of 0°F to 120°F.
- 100% biodegradable silt fence is available that is strong, long lasting, and can be left in place after the project is completed, if permitted by the local jurisdiction.
- See [Figure 7.24: Silt Fence](#). Include the following standard notes for silt fence on construction plans and specifications:
  1. The contractor shall install and maintain temporary silt fences at the locations shown in the plans.
  2. Construct silt fences in the areas of clearing, grading, or drainage prior to starting those activities.

11. Locate silt fences on contour as much as possible, except at the ends of the fence, where the fence shall be turned uphill such that the silt fence captures the runoff water and prevents water from flowing around the end of the fence.
12. If the fence must cross contours, with the exception of the ends of the fence, place check dams perpendicular to the back of the fence to minimize concentrated flow and erosion. The slope of the fence line where contours must be crossed shall be  $\leq 3H : 1V$ .

- o Check dams shall be approximately 1 foot deep at the back of the fence and shall be continued perpendicular to the fence at the same elevation until the top of the check dam intercepts the ground surface behind the fence.

Check dams shall consist of crushed surfacing base course, gravel backfill for walls, or shoulder ballast and shall be located every 10 feet along the fence where the fence must cross contours.

- See [Figure 7.25: Silt Fence Installation by Slicing Method](#) for slicing method details.

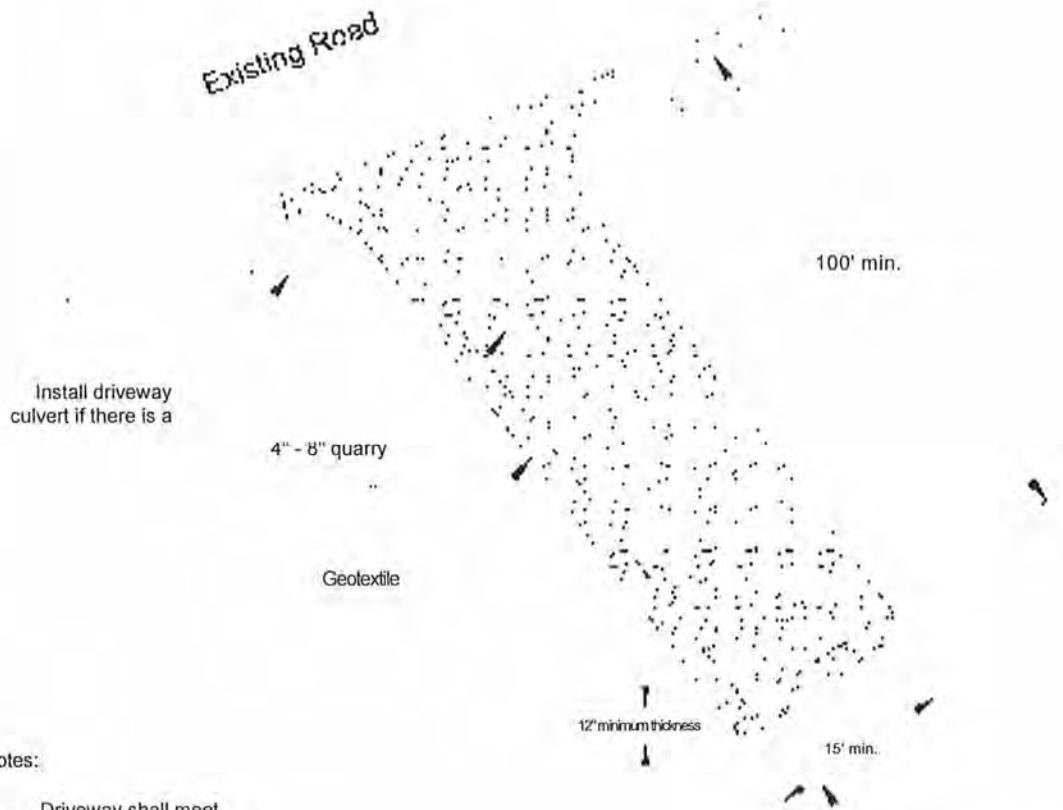
The following are specifications for silt fence installation using the slicing method:

1. The base of both end posts must be  $\geq 2$  to 4 inches above the top of the geotextile fabric on the middle posts for ditch checks to drain properly. Use a hand level or string level, if necessary, to mark base points before installation.
2. Install posts 3 to 4 feet apart in critical retention areas and 6 to 7 feet apart in standard applications.
3. Install posts 24 inches deep on the downstream side of the silt fence, and as close as possible to the geotextile fabric, enabling posts to support the geotextile fabric from upstream water pressure.
4. Install posts with the nipples facing away from the geotextile fabric.
5. Attach the geotextile fabric to each post with three ties, all spaced within the top 8 inches of the fabric. Attach each tie diagonally 45 degrees through the fabric, with each puncture  $\geq 1$  inch vertically apart. Each tie should be positioned to hang on a post nipple when tightening to prevent sagging.
6. Wrap approximately 6 inches of the geotextile fabric around the end posts and secure with three ties.
7. No more than 24 inches of a 36-inch geotextile fabric is allowed above ground level.

Compact the soil immediately next to the geotextile fabric with the front wheel of the tractor, skid steer, or roller exerting  $\geq 60$  pounds per square inch. Compact the upstream side first and then each side twice for a total of four trips. Check and correct the installation for any deviation before compaction. Use a flat-bladed shovel to tuck fabric deeper into the ground if necessary.

**Figure 7.3: Stabilized Construction Entrance**

NOT TO SCALE



Install driveway culvert if there is a

4" - 8" quarry

Geotextile

12" minimum thickness

100' min.

15' min.

Provide full width of ingress/egress area

**Notes:**

1. Driveway shall meet the requirements of the
2. It is recommended that the entrance be crowned so that runoff drains off the pad.



DEPARTMENT OF  
**ECOLOGY**  
State of Washington

## Stabilized Construction Entrance

Revised June 2016

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- **Lining material:** Ponds can be open or covered with a 6- to 12-inch layer of filter material such as coarse sand, or a suitable filter fabric to help prevent the buildup of impervious deposits on the soil surface. A nonwoven geotextile should be selected that will function sufficiently without plugging. The filter layer can be replaced or cleaned when/if it becomes clogged.
- **Vegetation:** The embankment, emergency spillways, spoil and borrow areas, and other disturbed areas should be stabilized and planted, preferably with grass, in accordance with the Stormwater Site Plan (see [Chapter 3 - Preparation of Stormwater Site Plans](#)). Without healthy vegetation the surface soil pores would quickly plug.

### ***Design Procedure***

See design criteria in [6.3.3 General Criteria for Infiltration BMPs](#).

### ***Operation and Maintenance Criteria***

- Maintain pond floor and side slopes to minimize erosion. This enhances infiltration, prevents erosion and consequent sedimentation of the pond floor, and prevents invasive weed growth. Where appropriate, bare spots are to be immediately stabilized and revegetated.
- Vegetation growth should be < 18 inches in height. Mow the slopes periodically and check for clogging, and erosion.
- Seed mixtures should be appropriate for the climate. The use of slow-growing, stoloniferous grasses will permit long intervals between mowing. Mowing twice a year is generally satisfactory for cool season grasses; native warm season grasses should be mowed once every 3 years to stimulate growth. Fertilizers should be applied only as necessary and in limited amounts to avoid contributing to ground water pollution. Consult the local jurisdiction agency for appropriate fertilizer types, including slow release fertilizers, and application rates.

See additional maintenance recommendations for infiltration ponds in Appendix 6-A: Recommended Maintenance Criteria for Flow Control BMPs.

### 2.1.4 Element 4: Install Sediment Controls

List and describe BMPs:

N/A

Installation Schedules:

N/A

Inspection and Maintenance plan:

N/A

Responsible Staff:

N/A

### 2.1.5 Element 5: Stabilize Soils

#### West of the Cascade Mountains Crest

Season	Dates	Number of Days Soils Can be Left Exposed
During the Dry Season	May 1 – September 30	7 days
During the Wet Season	October 1 – April 30	2 days

Soils must be stabilized at the end of the shift before a holiday or weekend if needed based on the weather forecast.

Anticipated project dates: Start date: **TBD** End date: **TBD**

Will you construct during the wet season?

Yes  No

List and describe BMPs:

**BMP C120 – Temporary and Permanent Seeding.** Once rough grading / earthwork is complete, temporary seeding (hydroseed) will be utilize as necessary to cover any exposed soil areas of the site not intended to be worked for more than seven days. This will mostly occur in Phase II areas of the site and limited areas of Phase I.

- Use seeding throughout the project on disturbed areas that have reached final grade or that will remain unworked for > 30 days. See [Element #5: Stabilize Soils](#) for specific timelines for stabilizing exposed soils.
- The optimum permanent seeding window for eastern Washington is October 1 through November 15.
- The acceptable permanent seeding window for eastern Washington is September 1 through April 30.
- Seeding permanent species is not recommended for eastern Washington from May 1 through August 31, unless irrigation is conducted.
- Review all disturbed areas in late August to early September and complete all seeding by the end of April. Otherwise, vegetation will not establish itself well enough to provide more than average protection.
- Mulch is required at all times for seeding because it protects seeds from heat, moisture loss, and transport due to runoff. Mulch can be applied on top of the seed or simultaneously by hydroseeding. See [BMP C121E: Mulching](#) for specifications.
- Seed and mulch all disturbed areas not otherwise vegetated at final site stabilization. Final stabilization means the completion of all soil disturbing activities at the site and the establishment of a permanent vegetative cover, or equivalent permanent stabilization measures (such as pavement, riprap, gabions or geotextiles) which will prevent erosion. See [BMP F6.61: Amending Construction Site Soils](#).

## ***Design and Installation Specifications***

### General

- Install channels intended for vegetation before starting major earthwork and hydroseed with a bonded fiber matrix (BFM). For vegetated channels that will have high flows, install erosion control blankets over hydroseed. Before allowing water to flow in vegetated channels, establish a 50% vegetation cover of all seeded areas after 3 months of active growth following germination during the growing season. If vegetated channels cannot be established by seed before water flow, install sod or prevegetated mats in the channel bottom over hydromulch and blankets.
- Confirm the installation of all required stormwater control measures to prevent seed from washing away.
- Hydroseed applications shall include a minimum of 1,500 pounds per acre (lb/acre) of mulch with 3% tackifier.
- Mulch is always required for seeding. Apply mulch on top of the seed or simultaneously by hydroseeding. See [BMP C121E: Mulching](#) for specifications.
- Areas that will have seeding only and not landscaping may need compost or meal-based mulch included in the hydroseed in order to establish vegetation. Reinstall native topsoil on the disturbed soil surface before application. See [BMP F6.61: Amending Construction Site Soils](#) in [Chapter 6 - Flow Control BMP Design](#).

- In addition to meeting erosion control functions and not hindering maintenance operations, selection of long-lived, successional growth native vegetation that can compete against or exclude weeds and grow with minimal maintenance after plant establishment is preferred. Provide diversity to the greatest extent possible and plan for a succession of flowering times to improve pollinator habitat.

[Table 7.3: Temporary Seeding](#) shows seeding rates for four different seed mixes (A, B, C, and D) for the temporary stabilization of disturbed areas until permanent vegetation or other long-term erosion control measures can be established. These annual plants will generally not survive more than one growing seas

**Table 7.3: Temporary Seeding**

Common Name	Seeding Rate for Four Seed Mixes (lb/acre)			
	A	B	C	D
Winter or spring wheat (I)	80			
Spring barley (I)		80		
Regreen (I) <sup>a</sup> or triticale (I)			50	
Annual ryegrass (I)				15
<sup>a</sup> Sterile wheat x wheatgrass hybrid				
I = introduced, nonnative plant species				

[Table 7.4: Permanent Seed Mixes: Upland Areas with Less than 12 Inches Precipitation](#) shows three different erosion control seed mixes (A, B, and C) for upland areas that receive less than 12 inches effective precipitation. For each, drilled seeding rates are given (in lb/acre); double seed rates if broadcast or hydroseeded. Consideration should be given to the traffic hazard for wildlife when selecting food species for roadside stabilization.

**Table 7.5: Permanent Seed Mixes: Upland Areas That Receive 12 to 15 Inches Precipitation**

Common Name	Seeding Rate for Three Seed Mixes (lb/acre) <sup>a</sup>		
	A	B	C
Bluebunch or beardless wheatgrass (N)		8	
Pubescent wheatgrass (I)			7
Indian ricegrass (sandy or sandy loam soils) (N)	2		
Thickspike wheatgrass (N)	7		2
Sheep fescue (I)		1	2

rates if broadcast or hydroseeded. Consideration should be given to the traffic hazard for wildlife when selecting food species for roadside stabilization.

**Table 7.7: Permanent Seed Mixes: Upland Areas With 18 to 24 Inches Precipitation**

Common Name	Seeding Rate for Three Seed Mixes (lb/acre) <sup>a</sup>		
	A	B	C
Slender wheatgrass (N) or sodar streambank wheatgrass	7		
Blue wildrye (N)		8	
Mountain brome (N)	1		8
Hard fescue (I)	2	2	2
White clover (I) or red clover (I)			2
Native lupine (N) or northern sweetvetch (N)		2	
Native clover spp. (N) or milkvetch spp. (N)	2		
TOTAL	12	12	12
Seeds/sf/mixture	64	62	76

<sup>a</sup>Expressed as pure live seed  
 I = introduced, nonnative plant species  
 N = native plant species  
 sf = square feet

**Table 7.8: Permanent Seed Mixes: Upland Areas With More Than 24 Inches Precipitation**

shows two different erosion control seed mixes (A and B) for upland areas that receive > 24 inches effective precipitation. For each, drilled seeding rates are given (in lb/acre); double seed rates if broadcast or hydroseeded. Consideration should be given to the traffic hazard for wildlife when selecting food species for roadside stabilization.

**Table 7.9: Permanent Seed Mixes: Grassed Waterways With Fewer Than 15 Inches Precipitation**

Common Name	Seeding Rate for Three Seed Mixes (lb/acre) <sup>a</sup>		
	A	B	C
Pubescent wheatgrass (I)		10	
Streambank wheatgrass (N)			7
Thickspike wheatgrass (N)	7		
Sheep fescue (I)		2	2
Big bluegrass (N)	2		
TOTAL	9	12	9
Seeds/sf/mixture	66	48	56
<sup>a</sup> Expressed as pure live seed I = introduced, nonnative plant species N = native plant species sf = square feet			

[Table 7.10: Permanent Seed Mixes: Grassed Waterways With 15 to 18 Inches Precipitation](#) shows three different erosion control seed mixes (A, B, and C) for stabilizing grassed waterways in areas that receive 15 to 18 inches effective precipitation. For each, drilled seeding rates are given (in lb/acre); double seed rates if broadcast or hydroseeded. Consideration should be given to the traffic hazard for wildlife when selecting food species for roadside stabilization.

**Table 7.10: Permanent Seed Mixes: Grassed Waterways With 15 to 18 Inches Precipitation**

Common Name	Seeding Rate for Three Seed Mixes (lb/acre) <sup>a</sup>		
	A	B	C
Tall wheatgrass (I)	10		
Pubescent wheatgrass (I), streambank wheatgrass (N), or intermediate wheatgrass (I)		10	
Hard fescue (I) or sheep fescue (I)	2	2	2
Thickspike wheatgrass (N)			8

**Table 7.12: Permanent Seed Mixes: Stabilization of Ski Slopes and Subalpine Areas**

Common Name	Seeding Rate for Three Seed Mixes (lb/acre) <sup>a</sup>	
	A	B
Blue wildrye (N) or Idaho fescue (N)	10	
Pubescent wheatgrass (I) or red fescue (I)		8
Hard fescue (I)		5
Sheep fescue (I)	2	2
White clover (I) or bentgrasses (I)		2
Lupine (N)	2	
TOTAL	14	17
<sup>a</sup> Expressed as pure live seed  I = introduced, nonnative plant species  N = native plant species		

**Roughening and Rototilling**

- The seedbed should be firm and rough. Roughen all soil no matter what the slope. Track walk slopes before seeding if engineering purposes require compaction. Back-blading or smoothing of slopes > 4H:1V is not allowed if they are to be seeded.
- Restoration-based landscape practices require deeper incorporation than that provided by a simple single-pass rototilling treatment. Wherever practical, initially rip the subgrade to improve long-term permeability, infiltration, and water inflow qualities. At a minimum, permanent areas shall receive soil amendments to achieve organic matter and permeability performance defined in amended soil/landscape systems. For systems that are deeper than 8 inches, complete the rototilling process in multiple lifts, or prepare the soil amendments to achieve the specified depth.

**Fertilizers**

- Conducting soil tests to determine the exact type and quantity of fertilizer needed is recommended. This will prevent the overapplication of fertilizer.
- Organic matter is the most appropriate form of fertilizer because it provides nutrients (including nitrogen, phosphorus, and potassium) in the least water-soluble form. A natural system typically releases 20% to 10% of its nutrients annually. Chemical fertilizers have been formulated to simulate what organic matter does naturally.
- Always use slow-release fertilizers because they are more efficient and have fewer environmental impacts. Do not add fertilizer to the hydromulch machine, or agitate, more than 20 minutes before use. Too much agitation destroys the slow release coating.

- Seeded areas shall be supplied with adequate moisture, but not watered to the extent that causes runoff.

### ***Approved as Equivalent***

The Washington State Department of Ecology (Ecology) has approved products as able to meet the requirements of [BMP C120E: Temporary and Permanent Seeding](#). The products did not pass through the Technology Assessment Protocol–Ecology (TAPE) process. Local jurisdictions may choose not to accept this product approved as equivalent or may require additional testing prior to consideration for local use. The products are available for review on Ecology’s Emerging Stormwater Treatment Technologies (TAPE) web page at the following address:

<https://ecology.wa.gov/Regulations-Permits/Guidance-technical-assistance/Stormwater-permittee-guidance-resources/Emerging-stormwater-treatment-technologies>

## **BMP C123E: Plastic Covering**

### ***Purpose***

Plastic covering provides immediate, short-term erosion protection to slopes and disturbed areas.

### ***Conditions of Use***

Plastic covering may be used on disturbed areas that require cover measures for < 30 days, with the following exceptions:

- Plastic is particularly useful for protecting cut-and-fill slopes and stockpiles. However, the relatively rapid breakdown of most polyethylene sheeting makes it unsuitable for applications > 6 months.
- Due to rapid runoff caused by plastic covering, do not use this method upslope of areas that might be adversely impacted by concentrated runoff. Such areas include steep and/or unstable slopes.
- Plastic sheeting may result in increased runoff volumes and velocities, requiring additional on-site measures to counteract the increases. Creating a trough with wattles or other material can convey clean water away from these areas.
- To prevent undercutting, trench and backfill plastic covering that comes in a rolled form.
- Although the plastic material is inexpensive to purchase, the cost of installation, maintenance, removal, and disposal add to the total costs of this BMP.
- Whenever plastic is used to protect slopes, install water collection measures at the base of the slope. These measures include plastic-covered berms, channels, and pipes used to convey clean rainwater away from bare soil and disturbed areas. Do not mix clean runoff from a plastic covered slope with dirty runoff from a project.
- Other uses for plastic include the following:
  - Temporary ditch liner

may require additional testing prior to consideration for local use. The products that Ecology has approved as functionally equivalent are available for review on Ecology's Emerging Stormwater Treatment Technologies (TAPE) web page at the following address:

<https://ecology.wa.gov/Regulations-Permits/Guidance-technical-assistance/Stormwater-permittee-guidance-resources/Emerging-stormwater-treatment-technologies>

## **BMP C140E: Dust Control**

### ***Purpose***

Dust control prevents wind transport of dust from disturbed soil surfaces onto roadways, into drainage systems, and into receiving waters. Wind erosion is a significant cause of soil movement from construction sites in eastern Washington. Although wind erosion can contribute to water quality impacts, dust control is regulated in some areas of eastern Washington primarily through local air quality authorities. Where such an entity exists, contact the local air quality authority for appropriate and required BMPs for dust control to implement at your project site.

### ***Conditions for Use***

Use dust control in areas (including roadways) subject to surface and air movement of dust where on-site or off-site impacts on roadways, drainage systems, or receiving waters are likely.

### ***Design and Installation Specifications***

- Vegetate or mulch areas that will not receive vehicle traffic. In areas where planting, mulching, or paving is impractical, apply gravel or landscaping rock.
- Limit dust generation by clearing only those areas where immediate activity will take place, leaving the remaining area(s) in the original condition, if stable. Maintain the original ground cover as long as practical.
- Construct natural or artificial windbreaks or windscreens. These may be designed as enclosures for small dust sources.
- Sprinkle the site with water until the surface is wet. Repeat as needed. To prevent carryout of mud onto the street, see [BMP C105E: Stabilized Construction Access](#) and [BMP C106E: Wheel Wash](#).
- Irrigation water can be used for dust control. Irrigation systems should be installed as a first step on sites where dust control is a concern.
- Spray exposed soil areas with a dust palliative, following the manufacturer's instructions and cautions regarding handling and application. Used oil is prohibited from use as a dust suppressant. Local jurisdictions may approve other dust palliatives such as calcium chloride or polyacrylamide (PAM).
- PAM ([BMP C126E: Polyacrylamide for Soil Erosion Protection](#)) added to water at a rate of 0.5 pounds per 1,000 gallons of water per acre and applied from a water truck is more effective than water alone. This is due to the increased infiltration of water into the soil and reduced evaporation. In addition, small soil particles are bonded together and are not as

Installation Schedules: **N/A**

Inspection and Maintenance plan: **N/A**

Responsible Staff: **N/A**

## 2.1.8 Element 8: Stabilize Channels and Outlets

List and describe BMPs:

**N/A.**

Installation Schedules: **N/A.**

Inspection and Maintenance plan:

**N/A.**

Responsible Staff:

**N/A**

**Table 3 – pH-Modifying Sources**

<input type="checkbox"/>	None
<input checked="" type="checkbox"/>	Bulk cement
<input type="checkbox"/>	Cement kiln dust
<input type="checkbox"/>	Fly ash
<input type="checkbox"/>	Other cementitious materials
<input checked="" type="checkbox"/>	New concrete washing or curing waters
<input type="checkbox"/>	Waste streams generated from concrete grinding and sawing
<input type="checkbox"/>	Exposed aggregate processes
<input type="checkbox"/>	Dewatering concrete vaults
<input checked="" type="checkbox"/>	Concrete pumping and mixer washout waters
<input type="checkbox"/>	Recycled concrete
<input type="checkbox"/>	Recycled concrete stockpiles
<input type="checkbox"/>	Other (i.e., calcium lignosulfate) [please describe:            ]

List and describe BMPs:

**Cement will be used to construct new building foundations and sidewalks. BMPs used will include plastic covering of any cement supplies stored on-site prior to mixing. Any concrete washing or curing waters should be transported off-site via a vacuum truck to an approved disposal site or collected, adjusted for pH and conveyed to surface flow in such a way as to utilize (but not overwhelm) the proposed wattle / silt fence / sediment trap system or discharged to the sanitary sewer system (with written approval from Northshore Utility District). Concrete pumping and mixer washouts should occur off-site at approved locations only.**

**If adjusting pH levels prior to disposal, pH must be adjusted to fall into the range of 6.5 - 8.5 su. Obtain written approval from DOE before using chemical treatment with the exception of CO2 or dry ice to modify pH.**

Installation Schedules:

**During construction of concrete elements of the project.**

Inspection and Maintenance plan:

**Each time concrete is mixed or placed as part of the construction process.**

Responsible Staff: **General Contractor**

Concrete trucks must not be washed out onto the ground, or into storm drains, open ditches, streets, or streams. Excess concrete must not be dumped on-site, except in designated concrete washout areas with appropriate BMPs installed.

paints. Small amounts of material may be secondarily contained in “bus boy” trays or concrete mixing trays.

- Do not store chemicals, drums, or bagged materials directly on the ground. Place these items on a pallet and within secondary containment.
- If drums must be kept uncovered, store them at a slight angle to reduce ponding of rainwater on the lids to reduce corrosion. Domed plastic covers are inexpensive and snap to the top of drums, preventing water from collecting.

### **Material Storage Areas and Secondary Containment Practices**

- Liquids, petroleum products, and substances listed in [40 CFR Part 110](#), [40 CFR Part 117](#), or [40 CFR Part 302](#) shall be stored in approved containers and drums and shall not be overfilled. Containers and drums shall be stored in temporary secondary containment facilities.
- Temporary secondary containment facilities shall provide for a spill containment volume able to contain 10% of the total enclosed container volume of all containers, or 110% of the capacity of the largest container within its boundary, whichever is greater.
- Secondary containment facilities shall be impervious to the materials stored therein for a minimum contact time of 72 hours.
- Secondary containment facilities shall be maintained free of accumulated rainwater and spills. In the event of spills or leaks, accumulated rainwater and spills shall be collected and placed into drums. These liquids shall be handled as hazardous waste unless testing determines them to be nonhazardous.
- Sufficient separation should be provided between stored containers to allow spill cleanup and emergency response access.
- During the wet weather season (October 1 through June 30), each secondary containment facility shall be covered during nonworking days.
- At all times, each secondary containment facility shall be covered prior to and during rain events.
- Keep material storage areas clean, organized, and equipped with an ample supply of appropriate spill cleanup material (spill kit).
- The spill kit should include, at a minimum, the following items:
  - One water-resistant nylon bag
  - Three oil-absorbent socks (3 inches by 4 feet)
  - Two oil-absorbent socks (3 inches by 10 feet)
  - Twelve oil-absorbent pads (17 by 19 inches)
  - One pair of splash-resistant goggles
  - Three pairs of nitrile gloves

## 2.1.11 Element 11: Maintain BMPs

All temporary and permanent Erosion and Sediment Control (ESC) BMPs shall be maintained and repaired as needed to ensure continued performance of their intended function.

Maintenance and repair shall be conducted in accordance with each particular BMP specification (see *Chapter 7 of the SWMMEW*).

Visual monitoring of all BMPs installed at the site will be conducted at least once every calendar week and within 24 hours of any stormwater or non-stormwater discharge from the site. If the site becomes inactive and is temporarily stabilized, the inspection frequency may be reduced to once every calendar month.

All temporary ESC BMPs shall be removed within 30 days after final site stabilization is achieved or after the temporary BMPs are no longer needed.

Trapped sediment shall be stabilized on-site or removed. Disturbed soil resulting from removal of either BMPs or vegetation shall be permanently stabilized.

Additionally, protection must be provided for all BMPs installed for the permanent control of stormwater from sediment and compaction. BMPs that are to remain in place following completion of construction shall be examined and restored to full operating condition. If sediment enters these BMPs during construction, the sediment shall be removed and the facility shall be returned to conditions specified in the construction documents.

### 3 Pollution Prevention Team

Table 7 – Team Information

Title	Name(s)	Phone Number
Certified Erosion and Sediment Control Lead (CESCL)	TBD	TBD
Resident Engineer	TBD	TBD
Emergency Ecology Contact	TBD	TBD
Emergency Permittee/ Owner Contact	TBD	TBD
Non-Emergency Owner Contact	TBD	TBD
Monitoring Personnel	TBD	TBD
Ecology Regional Office	Southwest Regional Office (Josh Klimek) <a href="mailto:Josh.klimek@ecy.wa.gov">Josh.klimek@ecy.wa.gov</a>	360-407-7451

If the discharge's turbidity is 26 to 249 NTU or the transparency is less than 33 cm but equal to or greater than 6 cm, the following steps will be conducted:

1. Review the SWPPP for compliance with Special Condition S9. Make appropriate revisions within 7 days of the date the discharge exceeded the benchmark.
2. Immediately begin the process to fully implement and maintain appropriate source control and/or treatment BMPs as soon as possible. Address the problems within 10 days of the date the discharge exceeded the benchmark. If installation of necessary treatment BMPs is not feasible within 10 days, Ecology may approve additional time when the Permittee requests an extension within the initial 10-day response period.
3. Document BMP implementation and maintenance in the site log book.

If the turbidity exceeds 250 NTU or the transparency is 6 cm or less at any time, the following steps will be conducted:

1. Telephone or submit an electronic report to the applicable Ecology Region's Environmental Report Tracking System (ERTS) within 24 hours.
  - **Central Region** (Benton, Chelan, Douglas, Kittitas, Klickitat, Okanogan, Yakima): (509) 575-2490 or [http://www.ecy.wa.gov/programs/spills/forms/nerts\\_online/CRO\\_nerts\\_online.html](http://www.ecy.wa.gov/programs/spills/forms/nerts_online/CRO_nerts_online.html)
  - **Eastern Region** (Adams, Asotin, Columbia, Ferry, Franklin, Garfield, Grant, Lincoln, Pend Oreille, Spokane, Stevens, Walla Walla, Whitman): (509) 329-3400 or [http://www.ecy.wa.gov/programs/spills/forms/nerts\\_online/ERO\\_nerts\\_online.html](http://www.ecy.wa.gov/programs/spills/forms/nerts_online/ERO_nerts_online.html)
  - **Northwest Region** (King, Kitsap, Island, San Juan, Skagit, Snohomish, Whatcom): (425) 649-7000 or [http://www.ecy.wa.gov/programs/spills/forms/nerts\\_online/NWRO\\_nerts\\_online.html](http://www.ecy.wa.gov/programs/spills/forms/nerts_online/NWRO_nerts_online.html)
  - **Southwest Region** (Clallam, Clark, Cowlitz, Grays Harbor, Jefferson, Lewis, Mason, Pacific, Pierce, Skamania, Thurston, Wahkiakum,): (360) 407-6300 or [http://www.ecy.wa.gov/programs/spills/forms/nerts\\_online/SWRO\\_nerts\\_online.html](http://www.ecy.wa.gov/programs/spills/forms/nerts_online/SWRO_nerts_online.html)
2. Immediately begin the process to fully implement and maintain appropriate source control and/or treatment BMPs as soon as possible. Address the problems within 10 days of the date the discharge exceeded the benchmark. If installation of necessary treatment BMPs is not feasible within 10 days, Ecology may approve additional time when the Permittee requests an extension within the initial 10-day response period
3. Document BMP implementation and maintenance in the site log book.
4. Continue to sample discharges daily until one of the following is true:
  - Turbidity is 25 NTU (or lower).
  - Transparency is 33 cm (or greater).
  - Compliance with the water quality limit for turbidity is achieved.
    - 1 - 5 NTU over background turbidity, if background is less than 50 NTU
    - 1% - 10% over background turbidity, if background is 50 NTU or greater
  - The discharge stops or is eliminated.

## 5 Discharges to 303(d) or Total Maximum Daily Load (TMDL) Waterbodies

### 5.1 303(d) Listed Waterbodies

Circle the applicable answer, if necessary:

Is the receiving water 303(d) (Category 5) listed for turbidity, fine sediment, phosphorus, or pH?

Yes  No

List the impairment(s):

If yes, discharges must comply with applicable effluent limitations in S8.C and S8.D of the CWSGP.

### 5.2 TMDL Waterbodies

Waste Load Allocation for CWSGP discharges:

Describe the method(s) for TMDL compliance:

List and describe BMPs:

Discharges to TMDL receiving waterbodies will meet in-stream water quality criteria at the point of discharge.

The Construction Stormwater General Permit Proposed New Discharge to an Impaired Water Body form is included in Appendix F.

## 6.2 Reporting

### 6.2.1 Discharge Monitoring Reports

Select and retain applicable paragraph.

**Cumulative soil disturbance is less than one (1) acre; therefore,** Discharge Monitoring Reports (DMRs) will not be submitted to Ecology because water quality sampling is not being conducted at the site.

Or

**Cumulative soil disturbance is one (1) acre or larger; therefore,** Discharge Monitoring Reports (DMRs) will be submitted to Ecology monthly. If there was no discharge during a given monitoring period the DMR will be submitted as required, reporting "No Discharge". The DMR due date is fifteen (15) days following the end of each calendar month.

DMRs will be reported online through Ecology's WQWebDMR System.

To sign up for WQWebDMR go to:

<http://www.ecy.wa.gov/programs/wq/permits/paris/webdmr.html>

### 6.2.2 Notification of Noncompliance

If any of the terms and conditions of the permit is not met, and the resulting noncompliance may cause a threat to human health or the environment, the following actions will be taken:

1. Ecology will be notified within 24-hours of the failure to comply by calling the applicable Regional office ERTS phone number (Regional office numbers listed below).
2. Immediate action will be taken to prevent the discharge/pollution or otherwise stop or correct the noncompliance. If applicable, sampling and analysis of any noncompliance will be repeated immediately and the results submitted to Ecology within five (5) days of becoming aware of the violation.
3. A detailed written report describing the noncompliance will be submitted to Ecology within five (5) days, unless requested earlier by Ecology.

Specific information to be included in the noncompliance report is found in Special Condition S5.F.3 of the CSWGP.

Anytime turbidity sampling indicates turbidity is 250 NTUs or greater, or water transparency is 6 cm or less, the Ecology Regional office will be notified by phone within 24 hours of analysis as required by Special Condition S5.A of the CSWGP.

- **Central Region** at (509) 575-2490 for Benton, Chelan, Douglas, Kittitas, Klickitat, Okanogan, or Yakima County

## A. Site Map

The site map must meet the requirements of Special Condition S9.E of the CSWGP

## B. BMP Detail

Insert BMPs specification sheets here.

Download BMPs from the Ecology Construction Stormwater website at:

<http://www.ecy.wa.gov/programs/wq/stormwater/construction/index.html>

Select Resources and Guidance to find the links to the Stormwater Manuals.

## C. Correspondence

Ecology

EPA

Local Government

## D. Site Inspection Form

Create your own or download Ecology's template:

<http://www.ecy.wa.gov/programs/wq/stormwater/construction/index.html>

Select Permit, Forms and Application to find the link to the Construction Stormwater Site Inspection Form.

## E. Construction Stormwater General Permit (CSWGP)

Download the CSWGP:

<http://www.ecy.wa.gov/programs/wq/stormwater/construction/index.html>

## F. 303(d) List Waterbodies / TMDL Waterbodies Information

Proposed New Discharge to an Impaired Water Body form

SWPPP Addendum addressing impairment

## G. Contaminated Site Information

Administrative Order

Sanitary Discharge Permit

Soil Management Plan

Soil and Groundwater Reports

Maps and Figures Depicting Contamination

## H. Engineering Calculations



October 4, 2022

Jerrod Sessler  
84009 W Old Inland Empire Highway  
Prosser WA 99350

RE: Waiver Approval for a Reduction in the Minimum Usable Land Area Requirements for Type 4 Soils (Benton-Franklin District Board of Health Rules and Regulations No. 2, Section XXXIV) Located at Parcel Numbers 1-2295-400-0004-000, 1-2795-100-0002-000 and 1-2795-100-0004-000, Off of Old Inland Empire Highway, Benton County.

Dear Mr. Sessler:

Your request *to extend* a waiver approval referenced above to allow for a reduction of minimum usable land area requirements for new subdivisions in a type 5 soils has been reviewed and in accordance with the provisions of Benton-Franklin District Board of Health Rules and Regulations No. 2 and WAC 246-272A is hereby conditionally approved.

This approval is strictly limited to the 56.8-acre long plat proposal and will create 11 lots, 8 of the 11 lots as proposed have identified area sufficient to meet the minimum land area requirements set forth in Benton-Franklin District Board of Health Rules and Regulations No. 2. Proposed lots 4, 5, and 6 do not, based on current testing, meet the minimum usable land area requirements. In addition, this approval is conditioned upon the following:

1. The placement of any on-site sewage system on proposed lots 4, 5, and 6 will require the use of an alternative type of sewage system in accordance with Benton-Franklin District Board of Health Rules and Regulations No. 2.
2. Binding site plans for on-site sewage system placement must be established for proposed lots 4, 5, and 6 meeting location requirements for an approved alternative type on-site sewage system.
3. The design of any on-site sewage system on the property must be executed by a licensed Professional Engineer or On-Site Wastewater Treatment System Designer, and installation of said system must be performed by a permitted installer within the Benton-Franklin Health District.

Jerrold Sessler  
October 4, 2022  
Page 2

This approval is strictly limited to the previously mentioned site and is conditioned upon said site complying with all other applicable rules and regulations.

The preceding recommendation shall be valid for a period not to exceed an additional 6 months from this date, shall be non-transferable, and will be declared null and void should the proposal not be developed by that time. This recommendation should not be considered as an approval for any future attempt at further segregation or subdivision of said lots.

Sincerely,



Larry D. Jecha M.D., M.P.H.  
District Health Officer

LDJ:jd

RECEIVED

DEC 15 2022

Benton Co. Planning Dept.

# Sessler Plat Benton County

## Technical Information Report

*Prepared For:*

**Jerrod Sessler**

**HOME TASK BRANDS**

84009 W Old Inland Empire Empire Hwy,  
Benton County, Prosser, WA 99350

*Prepared By:*

**Pacific Engineering Design, LLC**

15445 53rd Avenue South  
Seattle, WA 98188  
Phone: (206) 431-7970  
Fax: (206) 388-1648  
Web site: [www.paceng.com](http://www.paceng.com)



January 10, 2020

PED Job No. 18059

## SECTION 1 PROJECT OVERVIEW

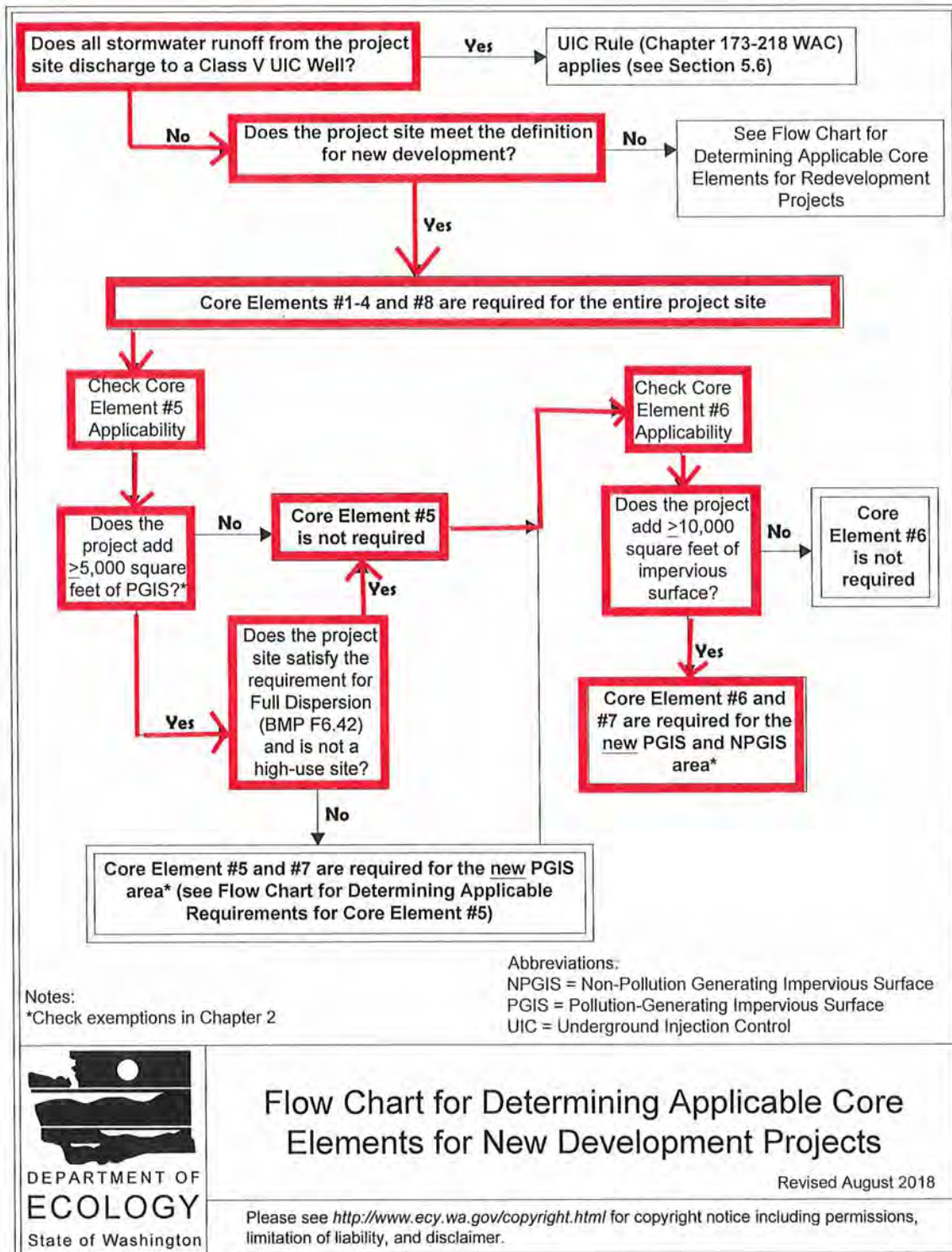
The proposed project is in Benton County on the south side of W Old Inland Empire Hwy. at 84009 W Old Inland Empire Hwy, Prosser, WA 99350. The project includes 3 parcels – 122954000004000, 127951000004000 & 12951000002000 in a portion of the Northwest Quarter of the northeast Quarter lying south of kid canal in Section 27 Township 9 North Range 25. Total area including all 3 parcels is 64.7 Acres. Total area disturbed by this project is approximately 3.5 acres. Zoning of the site is RL-5. The proposed project will construct 11 single family lots and an access road with a Bridge over the canal. The average lot size is 5.5 acres.

Under existing condition, the site is vacant. Yakima River passes through the east portion of the project site Northerly. The river area and its buffer area are mainly covered with forest. Existing trees and vegetation in the river area and buffer area will remain undisturbed for this development.

Onsite soils are gravely and stoney silt loam per USGS soils map. .



**Figure 2.1: Flow Chart for Determining Applicable Core Elements for New Development Projects**



## **SECTION 3 REQUIREMENTS**

The following is the minimum requirements listed in Storm water Management Manual for Eastern Washington.

“Stormwater management manual” means the 2004 Edition of the Stormwater Management Manual for Eastern Washington (SWMMEW), as amended in August 2019, adopted by reference and prepared by Ecology.

The Minimum Requirements are:

### **1. Preparation of Stormwater Site Plans**

Stormwater Site Plans are prepared per Benton County code and the 2019 WSDOE SWMMEW.

### **2. Construction Stormwater Pollution Prevention**

Construction Stormwater Pollution Prevention Plans are prepared per Benton County code and the 2019 WSDOE SWMMEW.

### **3. Source Control of Pollution**

A Pollution Source Control Program will be prepared and provided with stormwater maintenance agreement and recorded prior to final Project approval. Construction specific BMP’s will be provided during construction (see SWPPP for reference).

### **4. Preservation of Natural Drainage Systems and Outfalls**

Onsite runoff will be dispersed on site through sheet flow dispersion and will be discharged to the Yakima River which is the natural drainage course. Existing drainage pattern will remain undisturbed.

### **6. Runoff Treatment**

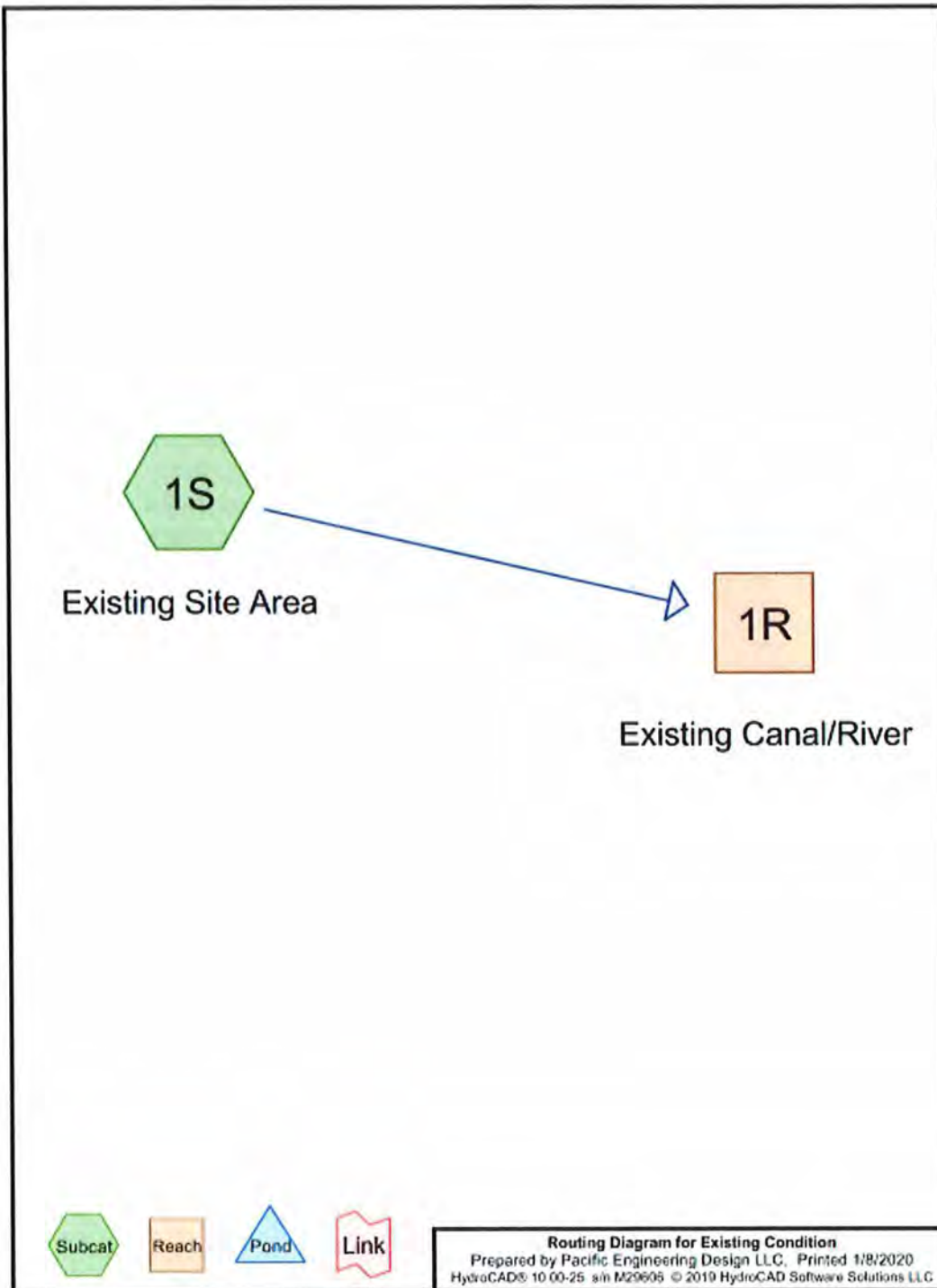
Sheet Flow Dispersion will be provided to manage the runoff from the proposed road.

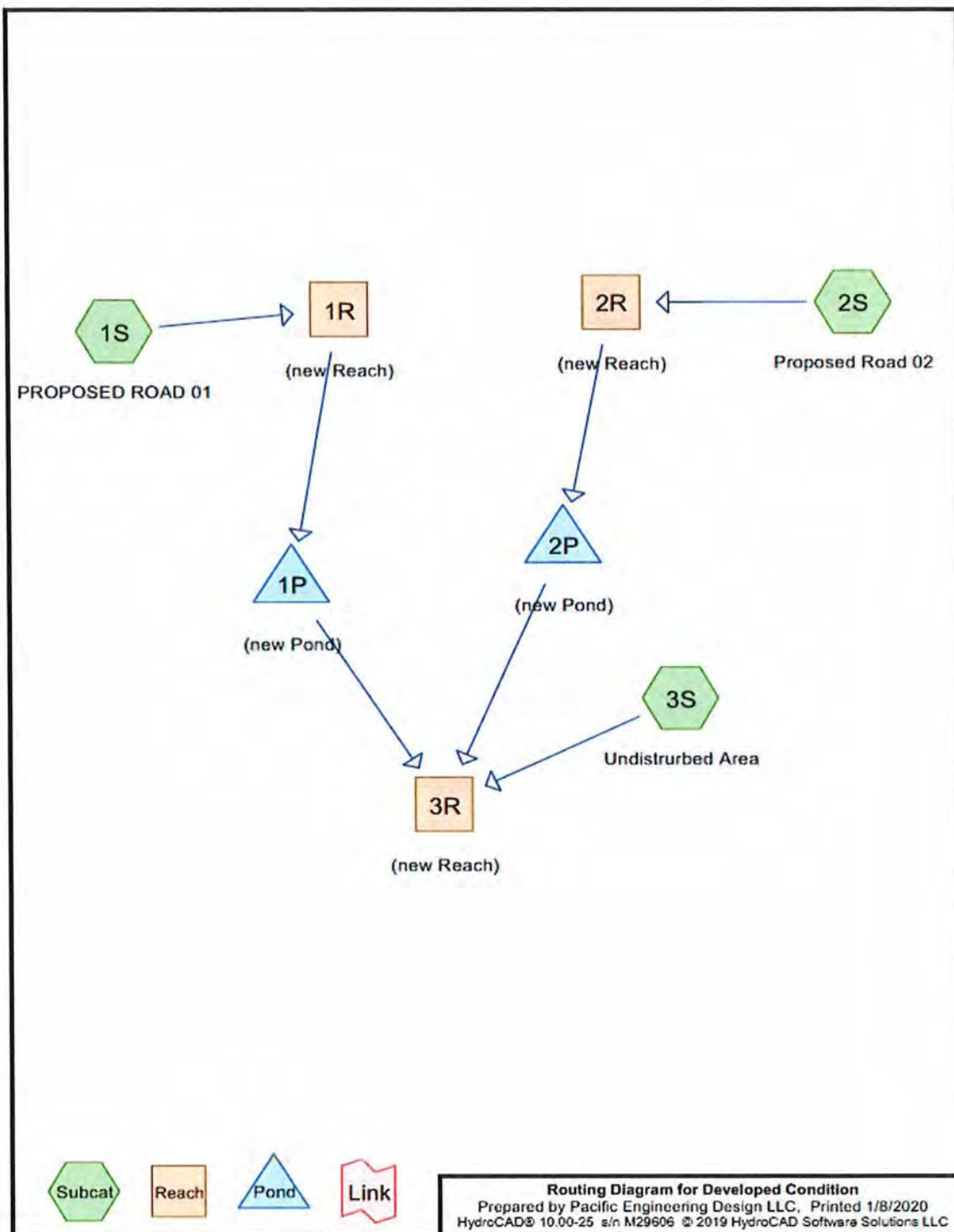
### **7. Flow Control**

Infiltration pond will be used to provide the required Standard Flow control for stream protection.

### **8. Local Requirements**

Operation and Maintenance of the storm drainage system for this project will be done by the Benton County.





## Existing Condition

E-WA Long R2 24-hr Custom Rainfall=8.52"

Prepared by Pacific Engineering Design LLC

Printed 1/8/2020

HydroCAD® 10.00-25 s/n M29606 © 2019 HydroCAD Software Solutions LLC

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### Summary for Reach 1R: Existing Canal/River

[40] Hint: Not Described (Outflow=Inflow)

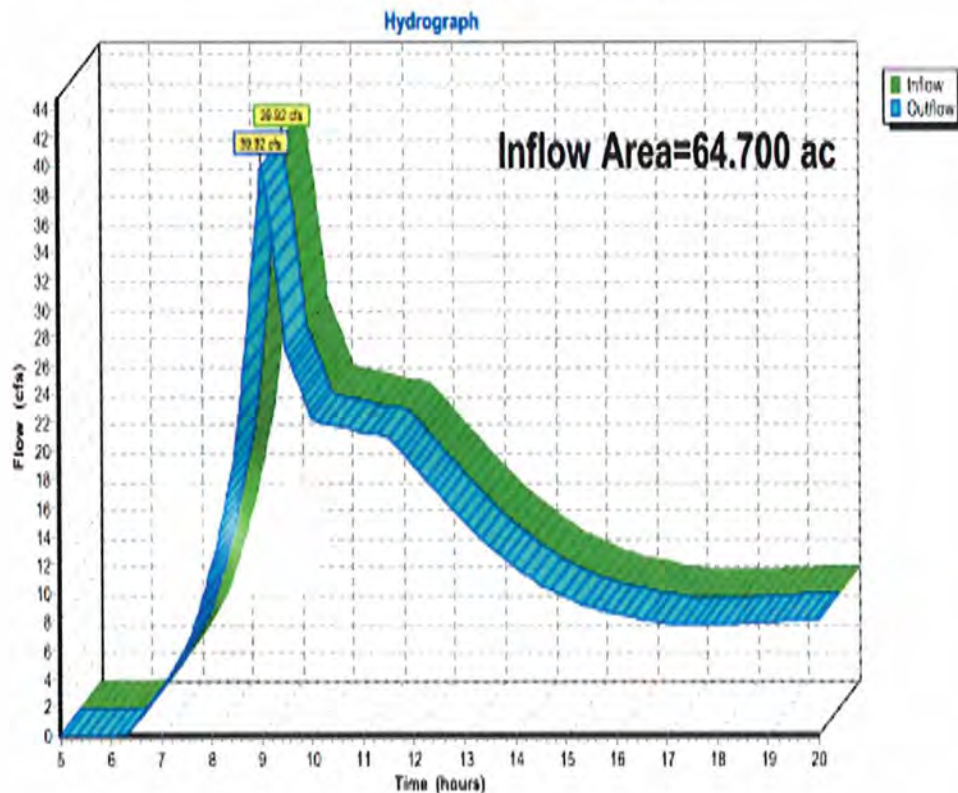
Inflow Area = 64.700 ac, 0.00% Impervious, Inflow Depth > 2.83" for Custom event

Inflow = 39.92 cfs @ 9.02 hrs, Volume= 15.264 af

Outflow = 39.92 cfs @ 9.02 hrs, Volume= 15.264 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

### Reach 1R: Existing Canal/River



North Basin:

Summary for Pond 1P: (new Pond)

[62] Hint: Exceeded Reach 1R OUTLET depth by 0.07' @ 9.30 hrs

Inflow Area = 1.060 ac, 100.00% Impervious, Inflow Depth > 6.96" for Custom event  
 Inflow = 1.65 cfs @ 9.14 hrs, Volume= 0.615 af, Incl. 0.01 cfs Base Flow  
 Outflow = 1.61 cfs @ 9.20 hrs, Volume= 0.611 af, Atten= 2%, Lag= 3.8 min  
 Secondary = 1.61 cfs @ 9.20 hrs, Volume= 0.611 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
 Starting Elev= 620.50' Surf.Area= 0.000 ac Storage= 0.000 af  
 Peak Elev= 625.85' @ 9.20 hrs Surf.Area= 0.046 ac Storage= 0.015 af

Plug-Flow detention time= 10.1 min calculated for 0.609 af (99% of inflow)  
 Center-of-Mass del. time= 6.4 min ( 652.4 - 646.0 )

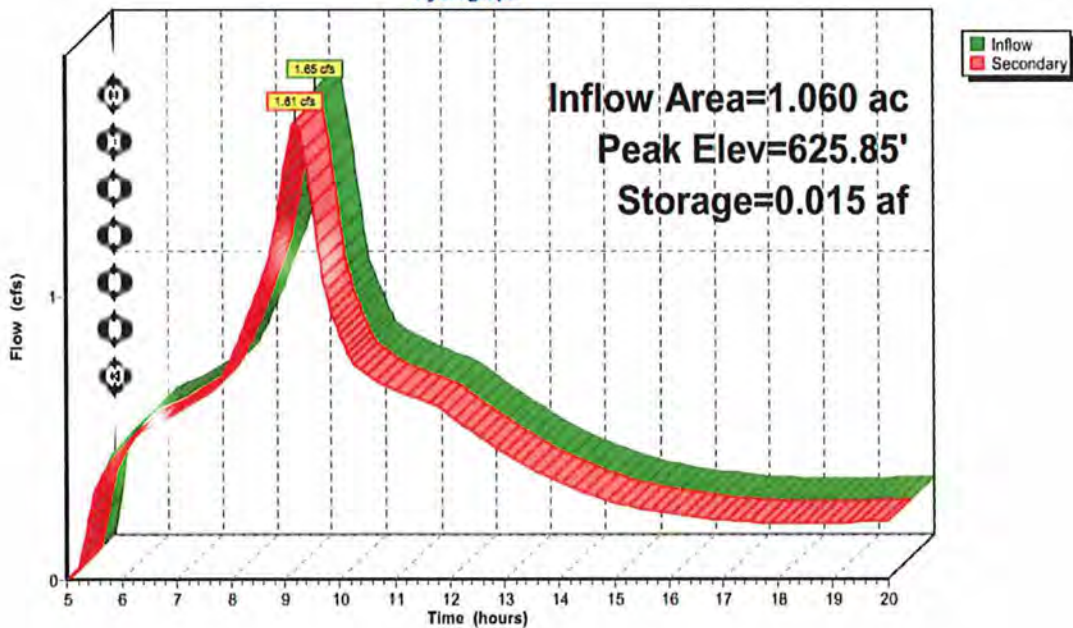
Volume	Invert	Avail.Storage	Storage Description
#1	625.50'	0.396 af	30.00'W x 60.00'L x 5.00'H Prismatic Z=3.0

Device	Routing	Invert	Outlet Devices
#1	Secondary	625.50'	120.0 deg x 2.0' long x 2.00' rise Sharp-Crested Vee/Trap Weir Cv= 2.48 (C= 3.10)

Secondary OutFlow Max=1.61 cfs @ 9.20 hrs HW=625.85' (Free Discharge)  
 ↳ Sharp-Crested Vee/Trap Weir (Weir Controls 1.61 cfs @ 1.75 fps)

Pond 1P: (new Pond)

Hydrograph



## SECTION 5 CONVEYANCE SYSTEM ANALYSIS

On site storm conveyance system:

### North Basin:

The new conveyance system is designed to convey the peak flows.

Total disturbed impervious area = 1.06 acres

Using HydroCAD Model.

Inflow Area = 1.060 ac, 100.00% Impervious, Inflow Depth > 6.86" for Custom event  
 Inflow = 1.67 cfs @ 9.02 hrs, Volume= 0.606 af  
 Outflow = 1.64 cfs @ 9.14 hrs, Volume= 0.602 af, Atten= 2%, Lag= 7.6 min

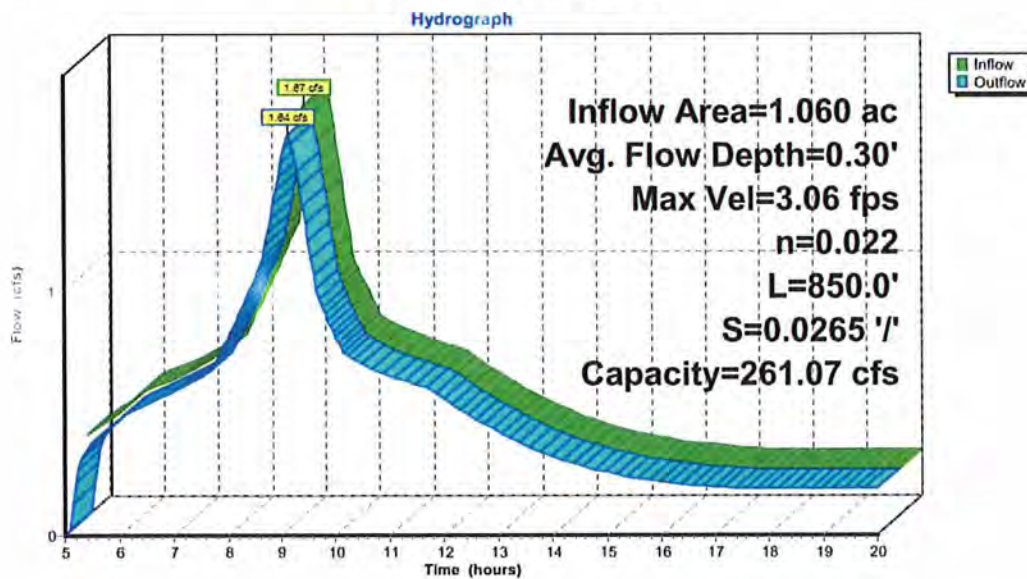
Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
 Max. Velocity= 3.06 fps, Min. Travel Time= 4.6 min  
 Avg. Velocity = 2.18 fps, Avg. Travel Time= 6.5 min

Peak Storage= 456 cf @ 9.06 hrs  
 Average Depth at Peak Storage= 0.30'  
 Bank-Full Depth= 2.00' Flow Area= 24.0 sf, Capacity= 261.07 cfs

0.00' x 2.00' deep channel, n= 0.022  
 Side Slope Z-value= 4.0 8.0 ' / ' Top Width= 24.00'  
 Length= 850.0' Slope= 0.0265 ' / '  
 Inlet Invert= 648.00', Outlet Invert= 625.50'



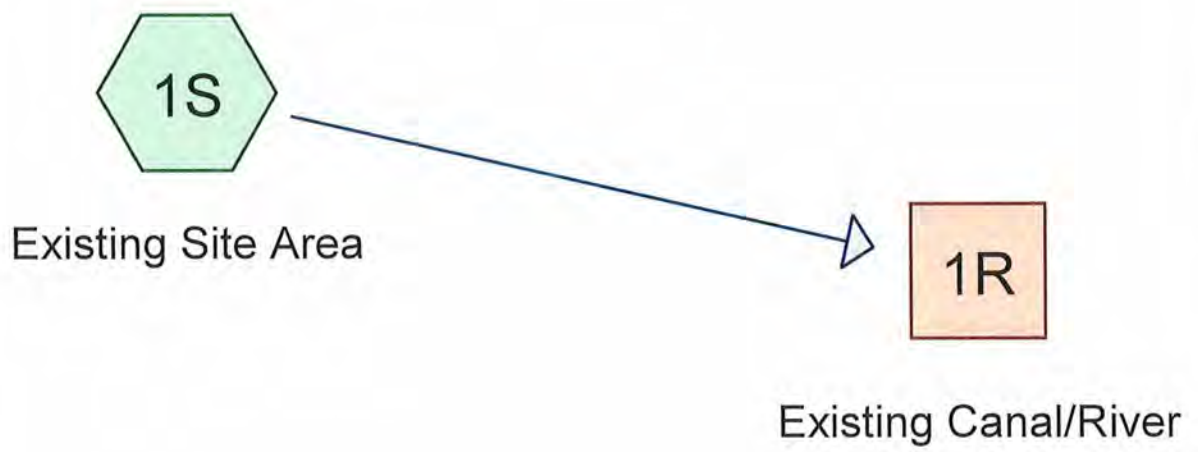
Reach 1R: (new Reach)



Geotechnical Engineering Study Proposed Marriott Hotel, 11401 – 115xx Airport Road, Everett, Washington by Geotech Consultants, Inc., dated February 13, 2019.

City of Everett Surface Water Comprehensive Plan, Volume II – Lake Washington Watershed Plan, Chapter 4 – Swamp Creek Basin Plan, by Otak Inc., dated November 2017.

## **SECTION 8 ESC ANALYSIS AND DESIGN**



## Existing Condition

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Page 4

### Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
64.700	HSG B	1S
0.000	HSG C	
0.000	HSG D	
0.000	Other	
<b>64.700</b>		<b>TOTAL AREA</b>

**Existing Condition**

*E-WA Long R2 24-hr Custom Rainfall=8.52"*

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment 1S: Existing Site Area**

Runoff Area=64.700 ac 0.00% Impervious Runoff Depth>2.83"  
Tc=0.0 min CN=56 Runoff=39.92 cfs 15.264 af

**Reach 1R: Existing Canal/River**

Inflow=39.92 cfs 15.264 af  
Outflow=39.92 cfs 15.264 af

**Total Runoff Area = 64.700 ac Runoff Volume = 15.264 af Average Runoff Depth = 2.83"**  
**100.00% Pervious = 64.700 ac 0.00% Impervious = 0.000 ac**

**Existing Condition**

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E-WA Long R2 24-hr Custom Rainfall=8.52"

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**Summary for Reach 1R: Existing Canal/River**

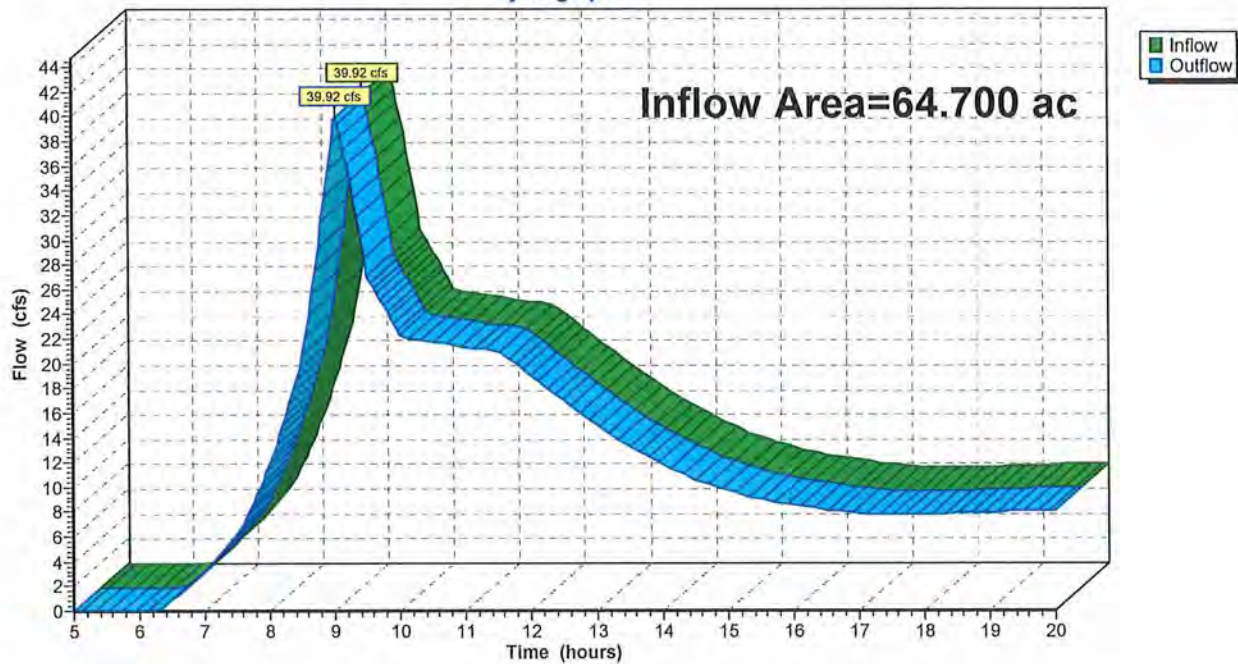
[40] Hint: Not Described (Outflow=Inflow)

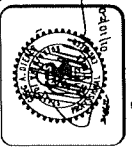
Inflow Area = 64.700 ac, 0.00% Impervious, Inflow Depth > 2.83" for Custom event  
Inflow = 39.92 cfs @ 9.02 hrs, Volume= 15.264 af  
Outflow = 39.92 cfs @ 9.02 hrs, Volume= 15.264 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

**Reach 1R: Existing Canal/River**

Hydrograph





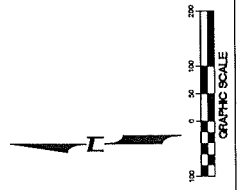
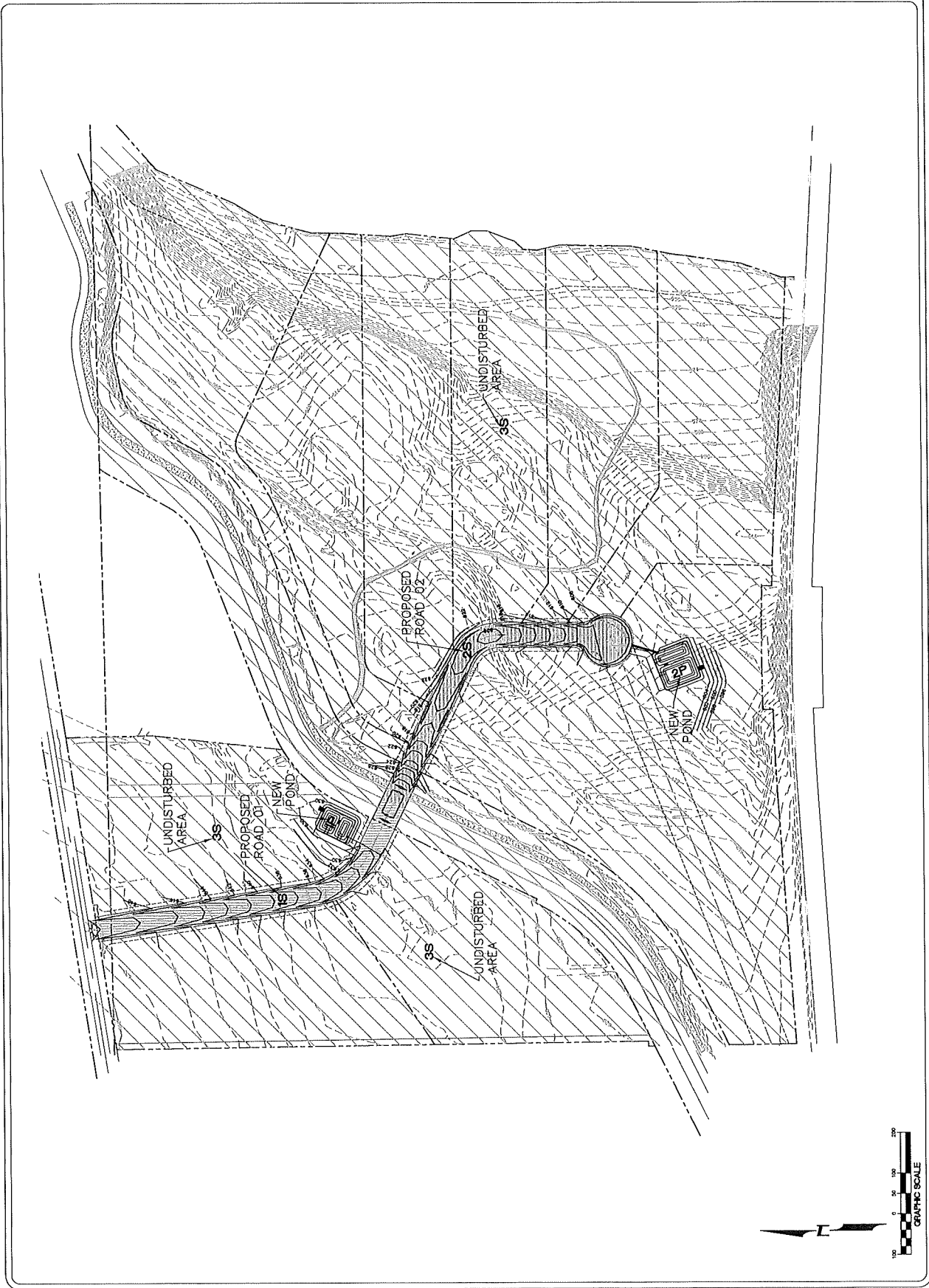
**Pacific Engineering Design, LLC**  
 Civil Engineering and Planning Consultants  
 15445 63 AVE. S.  
 BEATTLE WA 98148  
 PHONE: (206) 431-7970  
 FAX: (206) 398-1848  
 WEB SITE: PACENGL.COM

**SESSLER PLAT BENTON COUNTY**  
 BENTON COUNTY

PROJECT NO.: 190022  
 DRAWN BY: PJP  
 ISSUE DATE: 07-10-2020  
 SHEET REV.:  
 FOR: HOME TANK ROUNDS  
 10000 1/2 AVE S. BENTON COUNTY WA 98705  
 PHONE: 509-425-0444  
 FAX: 509-425-0444

**SITE PLAN**

FILE DESIGNATION  
**S01**  
 SHEET 01 OF 05



**Developed Condition**

**Soil Listing (all nodes)**

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
64.700	HSG B	1S, 2S, 3S
0.000	HSG C	
0.000	HSG D	
0.000	Other	
<b>64.700</b>		<b>TOTAL AREA</b>

**Developed Condition***E-WA Long R2 24-hr Custom Rainfall=8.52"*

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points  
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment 1S: PROPOSED ROAD 01** Runoff Area=1.060 ac 100.00% Impervious Runoff Depth>6.86"  
 Flow Length=850' Slope=0.0200 '/' Tc=1.5 min CN=98 Runoff=1.67 cfs 0.606 af

**Subcatchment 2S: Proposed Road 02** Runoff Area=1.175 ac 100.00% Impervious Runoff Depth>6.86"  
 Flow Length=850' Slope=0.0200 '/' Tc=1.5 min CN=98 Runoff=1.86 cfs 0.672 af

**Subcatchment 3S: Undistrurbed Area** Runoff Area=62.465 ac 0.00% Impervious Runoff Depth>2.83"  
 Tc=0.0 min CN=56 Runoff=38.54 cfs 14.737 af

**Reach 1R: (new Reach)** Avg. Flow Depth=0.30' Max Vel=3.06 fps Inflow=1.67 cfs 0.606 af  
 n=0.022 L=850.0' S=0.0265 '/' Capacity=261.07 cfs Outflow=1.64 cfs 0.602 af

**Reach 2R: (new Reach)** Avg. Flow Depth=0.31' Max Vel=3.22 fps Inflow=1.86 cfs 0.672 af  
 n=0.022 L=850.0' S=0.0282 '/' Capacity=269.63 cfs Outflow=1.82 cfs 0.668 af

**Reach 3R: (new Reach)** Avg. Flow Depth=0.84' Max Vel=8.55 fps Inflow=38.54 cfs 14.737 af  
 n=0.022 L=50.0' S=0.0400 '/' Capacity=284.67 cfs Outflow=38.49 cfs 14.734 af

**Pond 1P: (new Pond)** Peak Elev=625.85' Storage=0.015 af Inflow=1.65 cfs 0.615 af  
 Outflow=1.61 cfs 0.611 af

**Pond 2P: (new Pond)** Peak Elev=605.88' Storage=0.016 af Inflow=1.84 cfs 0.693 af  
 Outflow=1.80 cfs 0.688 af

**Total Runoff Area = 64.700 ac Runoff Volume = 16.015 af Average Runoff Depth = 2.97"**  
**96.55% Pervious = 62.465 ac 3.45% Impervious = 2.235 ac**

**Developed Condition**

E-WA Long R2 24-hr Custom Rainfall=8.52"

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**Summary for Subcatchment 2S: Proposed Road 02**

[49] Hint:  $T_c < 2dt$  may require smaller dt

Runoff = 1.86 cfs @ 9.02 hrs, Volume= 0.672 af, Depth> 6.86"

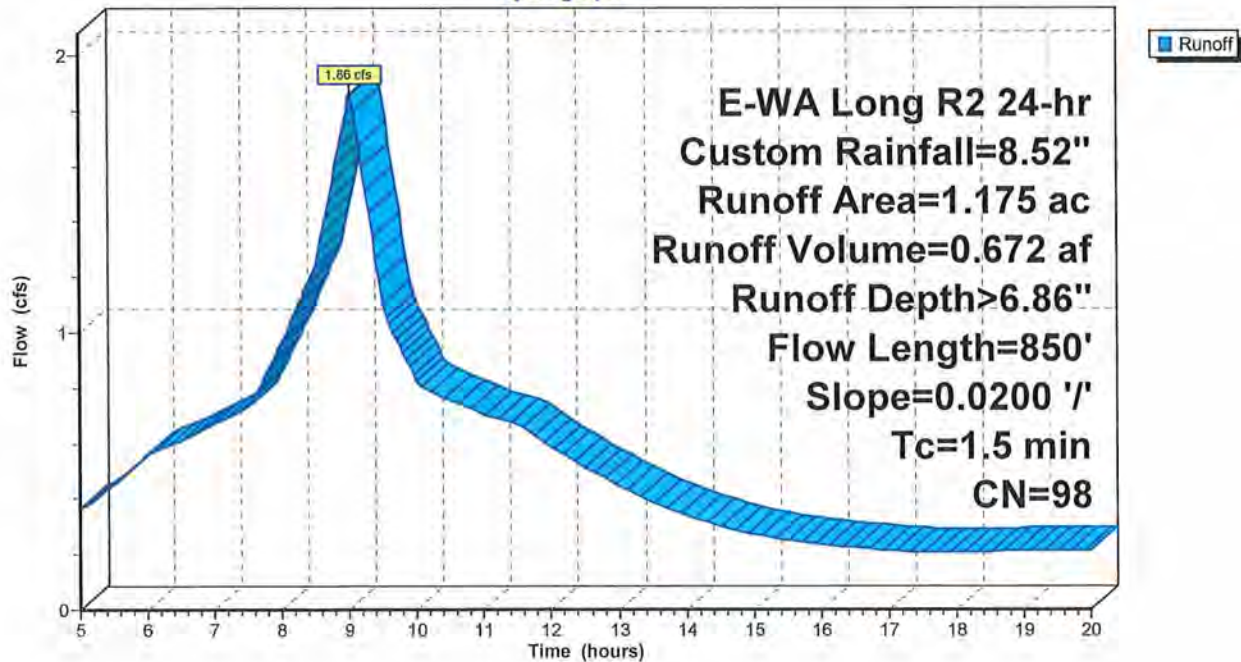
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
E-WA Long R2 24-hr Custom Rainfall=8.52"

Area (ac)	CN	Description
1.175	98	Paved parking, HSG B
1.175		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.5	850	0.0200	9.46	226.93	Trap/Vee/Rect Channel Flow, Bot.W=0.00' D=2.00' Z= 4.0 & 8.0 ' /' Top.W=24.00' n= 0.022 Earth, clean & straight

**Subcatchment 2S: Proposed Road 02**

Hydrograph



**Developed Condition**

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E-WA Long R2 24-hr Custom Rainfall=8.52"

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**Summary for Reach 1R: (new Reach)**

[82] Warning: Early inflow requires earlier time span

Inflow Area = 1.060 ac, 100.00% Impervious, Inflow Depth > 6.86" for Custom event  
Inflow = 1.67 cfs @ 9.02 hrs, Volume= 0.606 af  
Outflow = 1.64 cfs @ 9.14 hrs, Volume= 0.602 af, Atten= 2%, Lag= 7.6 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
Max. Velocity= 3.06 fps, Min. Travel Time= 4.6 min  
Avg. Velocity = 2.18 fps, Avg. Travel Time= 6.5 min

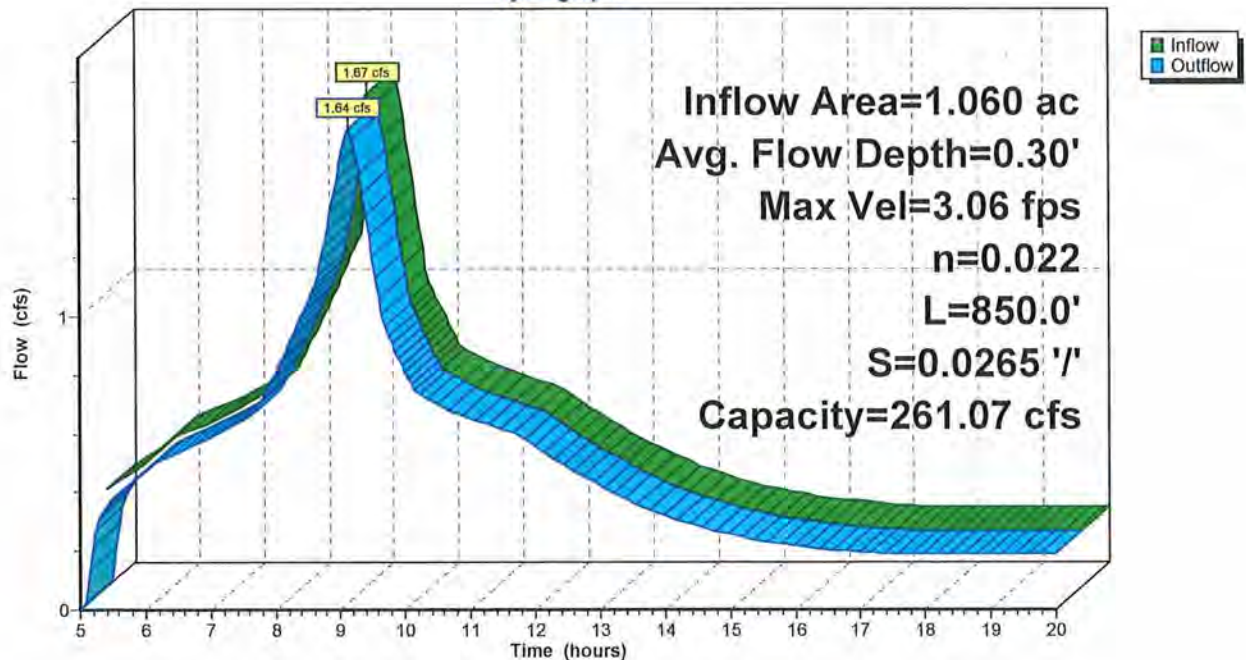
Peak Storage= 456 cf @ 9.06 hrs  
Average Depth at Peak Storage= 0.30'  
Bank-Full Depth= 2.00' Flow Area= 24.0 sf, Capacity= 261.07 cfs

0.00' x 2.00' deep channel, n= 0.022  
Side Slope Z-value= 4.0 8.0 ' / ' Top Width= 24.00'  
Length= 850.0' Slope= 0.0265 ' / '  
Inlet Invert= 648.00', Outlet Invert= 625.50'



**Reach 1R: (new Reach)**

Hydrograph



**Developed Condition**

E-WA Long R2 24-hr Custom Rainfall=8.52"

Prepared by Pacific Engineering Design LLC

Printed 1/8/2020

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**Summary for Reach 3R: (new Reach)**

Inflow Area = 64.700 ac, 3.45% Impervious, Inflow Depth > 2.73" for Custom event  
Inflow = 38.54 cfs @ 9.02 hrs, Volume= 14.737 af  
Outflow = 38.49 cfs @ 9.02 hrs, Volume= 14.734 af, Atten= 0%, Lag= 0.2 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
Max. Velocity= 8.55 fps, Min. Travel Time= 0.1 min  
Avg. Velocity = 6.17 fps, Avg. Travel Time= 0.1 min

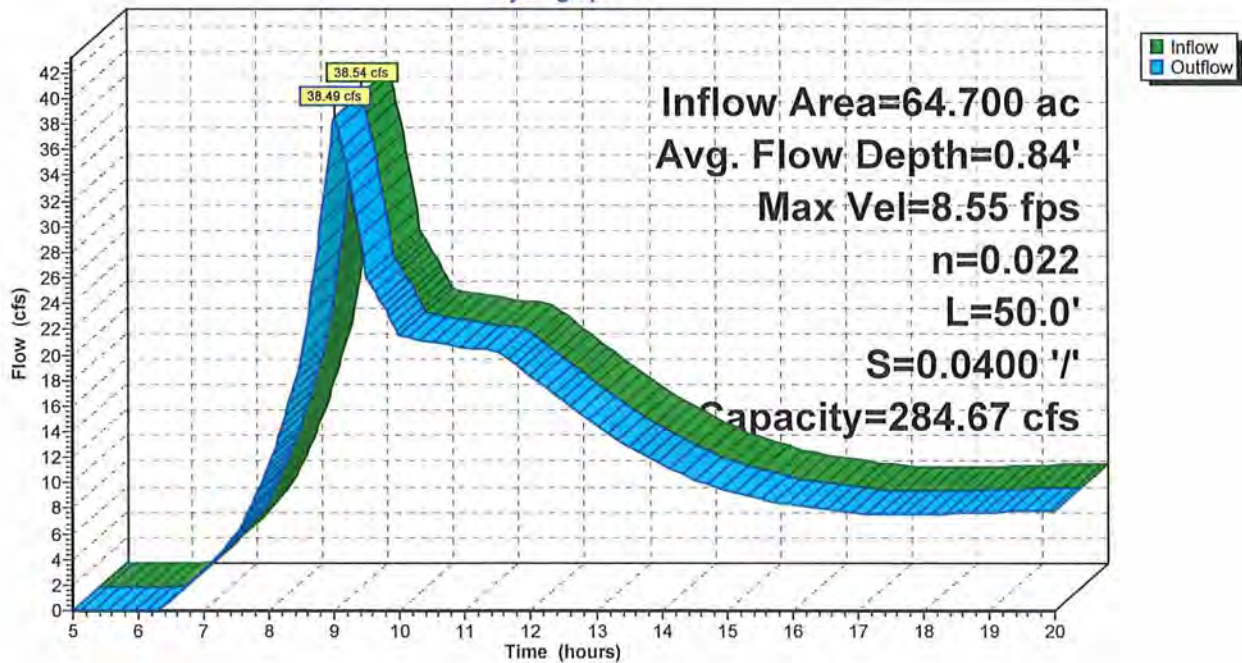
Peak Storage= 225 cf @ 9.02 hrs  
Average Depth at Peak Storage= 0.84'  
Bank-Full Depth= 2.00' Flow Area= 20.0 sf, Capacity= 284.67 cfs

2.00' x 2.00' deep channel, n= 0.022 Earth, clean & straight  
Side Slope Z-value= 4.0 '/' Top Width= 18.00'  
Length= 50.0' Slope= 0.0400 '/'  
Inlet Invert= 604.00', Outlet Invert= 602.00'



**Reach 3R: (new Reach)**

Hydrograph



**Developed Condition**

E-WA Long R2 24-hr Custom Rainfall=8.52"

Prepared by Pacific Engineering Design LLC

Printed 1/8/2020

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**Summary for Pond 2P: (new Pond)**

Inflow Area = 1.175 ac, 100.00% Impervious, Inflow Depth > 7.08" for Custom event  
 Inflow = 1.84 cfs @ 9.14 hrs, Volume= 0.693 af, Incl. 0.02 cfs Base Flow  
 Outflow = 1.80 cfs @ 9.19 hrs, Volume= 0.688 af, Atten= 2%, Lag= 3.5 min  
 Secondary = 1.80 cfs @ 9.19 hrs, Volume= 0.688 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
 Starting Elev= 600.50' Surf.Area= 0.000 ac Storage= 0.000 af  
 Peak Elev= 605.88' @ 9.19 hrs Surf.Area= 0.046 ac Storage= 0.016 af

Plug-Flow detention time= 9.7 min calculated for 0.686 af (99% of inflow)  
 Center-of-Mass det. time= 6.1 min ( 653.4 - 647.3 )

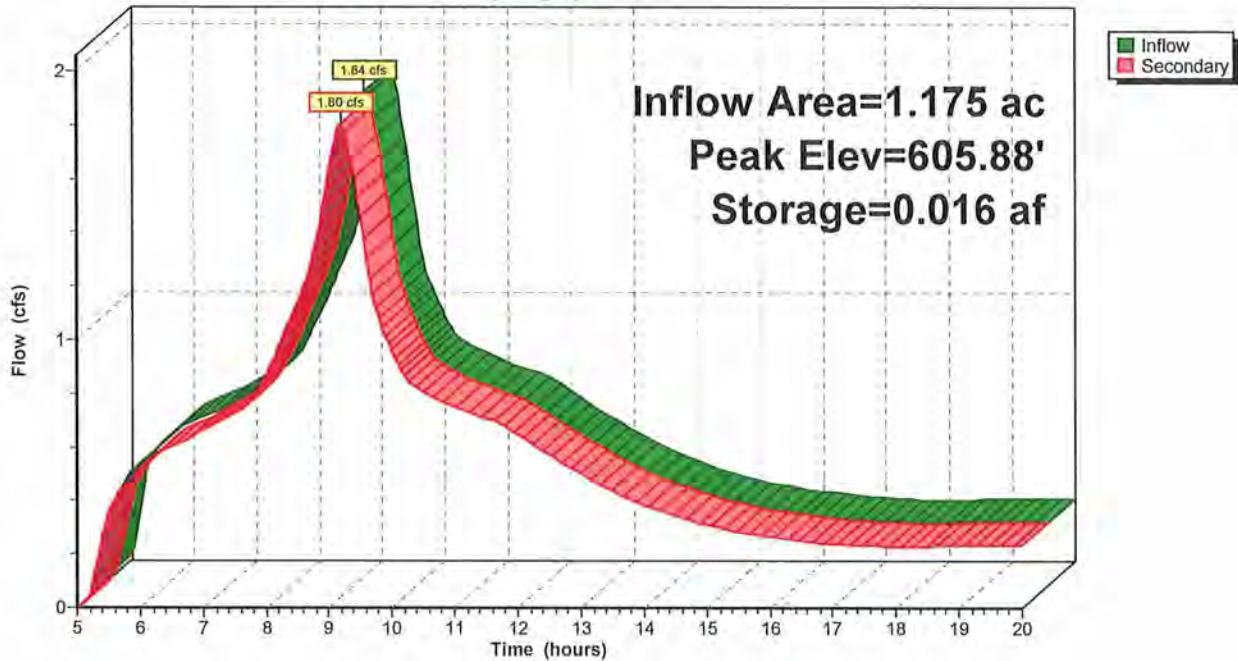
Volume	Invert	Avail.Storage	Storage Description
#1	605.50'	0.396 af	30.00'W x 60.00'L x 5.00'H Prismatic Z=3.0

Device	Routing	Invert	Outlet Devices
#1	Secondary	605.50'	120.0 deg x 2.0' long x 2.50' rise Sharp-Crested Vee/Trap Weir Cv= 2.48 (C= 3.10)

**Secondary OutFlow** Max=1.80 cfs @ 9.19 hrs HW=605.88' (Free Discharge)  
 ↳ Sharp-Crested Vee/Trap Weir (Weir Controls 1.80 cfs @ 1.81 fps)

**Pond 2P: (new Pond)**

Hydrograph





Planning Department  
 (509) 786-5612  
 P.O. Box 910  
 Prosser, WA 99350

www.co.benton.wa.us  
 planning.department@co.benton.wa.us  
 Prosser Office: 620 Market Street, 1<sup>st</sup> Floor  
 Kennewick Office: 102206 East Wiser Parkway

SEPA ENVIRONMENTAL CHECKLIST **RECEIVED**

File No. EA 2022-051

DEC 15 2022

A. BACKGROUND

Benton Co. Planning Dept.

1. Name of proposed project, if applicable: BLAIR LOOP
2. Name of applicant: JERROD SESSLER
3. Address and phone number of applicant and contact person: 84009 W OEE 99350  
509-654-4300
4. Date checklist prepared: 7/2/2022
5. Agency requesting checklist: COUNTY PLANNING & BUILDING
6. Proposed timing or schedule (including phasing, if applicable): MULTI-YEAR DEVELOPMENT
7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.  
ADDITIONAL PARCEL MAY BE <sup>ADDED</sup> ~~ADDED~~ THAT IS ALSO  
CURRENTLY LAND LOCKED. THIS IS THE ONLY OPTION  
TO UNLOCK THE LAND DUE TO CANAL CONSTRUCTION.
8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. NO ENVIRONMENT ISSUES NOTED OR KNOWN.
9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. APPROVAL FROM USBR  
ALREADY COMPLETED 2+ YEARS AGO FOR BRIDGE  
OVER CHANDLER CANAL.
10. List any government approvals or permits that will be needed for your proposal, if known. HEALTH PERMIT APPROVED AND PROVIDED ALREADY.
11. Give a brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page.  
50+ ACRES SEPARATED BY CHANDLER CANAL AND  
DIVIDING TO 5+ ACRE LEGALLY SEPARATE LOTS.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist. ~17 ACRES OFF ONE AT THE ADDRESS AND ADDITIONAL ~50 ACRES ACROSS CANAL ADJACENT TO RAILROAD & YAKIMA RIVER.

## B. ENVIRONMENTAL ELEMENTS

### 1. Earth

a. General description of the site (circle one):

Flat

Rolling

Hilly

Steep Slopes

Mountainous

Other \_\_\_\_\_

b. What is the steepest slope on the site (approximate percent slope)? 5% - 10%

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.

MAINLY ROCK & COBBLE W/SOME BASALT ROCK IN PLACES

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

NO

e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill. \_\_\_\_\_

NO FILLING NECESSARY

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

NO, FAIRLY FLAT W/NATURAL DRAINAGE

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? 6.25%

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any: \_\_\_\_\_

NONE NEEDED/REQUIRED

### 2. Air

a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known. \_\_\_\_\_

NONE

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.  
N/A

c. Proposed measures to reduce or control emissions or other impacts to air, if any: \_\_\_\_\_  
N/A

3. Water

a. Surface Water:

1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into. YAKIMA RIVER BUT THIS CHECKLIST IS FOR SUB-DEVELOPMENT ONLY, NOT CONSTRUCTION

2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans. NO; DEF. NOT A/EN 200 FT OF RIVER.

3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. NONE

4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. NO DIVERSIONS OR WITHDRAWALS

5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. NO

6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. NO

b. Ground Water:

1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known. EXISTING WELLS ON PROPERTY ALREADY.

2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. W/USE DOMESTIC SEPTIC FOR EACH CONSTRUCTED PROJECT (FUTURE).

c. Water runoff (including stormwater):

1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe. DETCHES ALONG NEW COUNTY ROAD

2) Could waste materials enter ground or surface waters? If so, generally describe. \_\_\_\_\_

NO

3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.

NO

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any: NONE N/A

4. **Plants**

a. Check the types of vegetation found on the site:

Deciduous tree (*alder, maple, aspen, other*)

Evergreen tree (*fir, cedar, pine, other*)

Shrubs

Grass

Pasture

Crop or grain

Orchards, vineyards or other permanent crops

Wet soil plants (*cattail, buttercup, bullrush, skunk cabbage, other*)

Water plants (*water lily, eelgrass, milfoil, other*)

Other types of vegetation

b. What kind and amount of vegetation will be removed or altered? \_\_\_\_\_

NONE - N/A

c. List threatened and endangered species known to be on or near the site. \_\_\_\_\_

NONE - N/A

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any: LANDSCAPE IMPROVEMENTS PLANNED

FOR EACH FUTURE CONSTRUCTION OF EACH LOT.

e. List all noxious weeds and invasive species known to be on or near the site. \_\_\_\_\_

NONE

5. **Animals**

a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site. Examples include: birds: hawk, heron, eagle, songbirds, other; mammals: deer, bear, elk, beaver, other; fish: bass, salmon, trout, herring, shellfish, other. NONE

b. List any threatened and endangered species known to be on or near the site. NONE

c. Is the site part of a migration route? If so, explain. N/A

d. Proposed measures to preserve or enhance wildlife, if any: NONE

e. List any invasive animal species known to be on or near the site. NONE

6. **Energy and Natural Resources**

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc. ELECTRIC, OIL, WOOD STOVE FOR HEATING & COOKING.

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe. NO

c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any: HIGH EFFICIENT APPLIANCES AND LOW ENERGY LIGHTING & HEATING/COOKING.

7. **Environmental Health**

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

NONE

1) Describe any known or possible contamination at the site from present or past uses. \_\_\_\_\_

NONE

2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project

NONE

area and in the vicinity. NONE

3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.

NONE

4) Describe special emergency services that might be required. NONE

5) Proposed measures to reduce or control environmental health hazards, if any: \_\_\_\_\_

N/A

**b. Noise**

1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)? NONE - N/A

2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site. TYPICAL CONSTRUCTION & DEVELOPMENT

FROM 7 AM - 6 PM

3) Proposed measures to reduce or control noise impacts, if any: \_\_\_\_\_

MODERN EQUIPMENT & RESPECTFULLY WORKING TO KEEP NOISE WITHIN NORMAL HOURS.

**8. Land and Shoreline Use**

a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe. NO USE CHANGES AT SITE

OR ADJACENT

b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use? NO, NONE, N/A

1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting?

If so, how: NO, N/A

c. Describe any structures on the site. HOMES, WELL HOUSE, EQUIP BUILDINGS, SHOPS

d. Will any structures be demolished? If so, what? NO

e. What is the current zoning classification of the site? RESIDENTIAL SINGLE

f. What is the current comprehensive plan designation of the site? RESIDENTIAL

g. If applicable, what is the current shoreline master program designation of the site? N/A

h. Has any part of the site been classified as a critical area by the city or county? If so, specify. NO

i. Approximately how many people would reside or work in the completed project? 20-30

j. Approximately how many people would the completed project displace? NONE

k. Proposed measures to avoid or reduce displacement impacts, if any: N/A

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any: N/A

m. Proposed measures to reduce or control impacts to agricultural and forest lands of long-term commercial significance, if any: N/A

## 9. Housing

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low income housing. 11 HIGH END HOMES

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low income housing. 0

c. Proposed measures to reduce or control housing impacts, if any: NO IMPACT

**10. Aesthetics**

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? 30'
- b. What views in the immediate vicinity would be altered or obstructed? NONE
- c. Proposed measures to reduce or control aesthetic impacts, if any: N/A, AESTHETICS  
W/BE IMPROVED

**11. Light and Glare**

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?  
NONE
- b. Could light or glare from the finished project be a safety hazard or interfere with views?  
NO, NONE
- c. What existing off-site sources of light or glare may affect your proposal?  
NONE
- d. Proposed measures to reduce or control light and glare impacts, if any:  
N/A - NO IMPACT

**12. Recreation**

- a. What designated and informal recreational opportunities are in the immediate vicinity?  
NONE
- b. Would the proposed project displace any existing recreational uses? If so, describe.  
NONE - N/A
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: N/A

**13. Historic and cultural preservation**

- a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers? If so, specifically describe.  
NONE - N/A

b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources. NO EVIDENCE, STUDY NOT REQUIRED FOR

DEVELOPMENT

c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc. NONE / N/A

d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required. NONE - N/A

#### 14. Transportation

a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any. SEE PLAN FOR NEW

COUNTY ROAD INCLUDING BRIDGE.

b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop? NO PUBLIC TRANSIT

c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate? NEW PARKING FOR EACH

NEW RESIDENCE. NO ELIMINATION

d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).

NEW COUNTY ROAD "BLAIR LOOP" WHICH IS  
ALREADY NAMED & APPROVED.

e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. NO - N/A

f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as

commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates? NONE REQUIRED FOR SUB DIVISION

g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe. NO - N/A

h. Proposed measures to reduce or control transportation impacts, if any: N/A

**15. Public Services**

a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe. ADDITIONAL HOMES W/BE ACCESSIBLE THROUGH COUNTY ROAD.

b. Proposed measures to reduce or control direct impacts on public services, if any. N/A

**16. Utilities**

a. Circle utilities currently available at the site:

electricity natural gas water refuse service telephone sanitary sewer system  
other \_\_\_\_\_

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

USE ALL EXISTING UTILITIES - NO NEW

**C. SIGNATURE**

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: [Signature]

Name of Signee JERROD SESSLER

Position and Agency/Organization OWNER

Date Submitted: 7/18/2022

**D. SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS**

(IT IS NOT NECESSARY to use this sheet for project actions)

- Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment.
- When answering these questions, be aware of the extent the proposal, or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

1. How would the proposal be likely to increase discharge to water; emissions to air; production, storage, or release of toxic or hazardous substances; or production of noise? NO IMPACT TO CURRENT CONDITIONS

a. Proposed measures to avoid or reduce such increases are: N/A

2. How would the proposal be likely to affect plants, animals, fish, or marine life? NO IMPACT

a. Proposed measures to protect or conserve plants, animals, fish, or marine life are: N/A

3. How would the proposal be likely to deplete energy or natural resources? NO IMPACT

a. Proposed measures to protect or conserve energy and natural resources are: N/A

4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands? NO IMPACT, NO SENSITIVE AREAS

a. Proposed measures to protect such resources or to avoid or reduce impacts are: N/A

5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans? NO IMPACT TO SHORE LINES OR LANDS

a. Proposed measures to avoid or reduce shoreline and land use impacts are: N/A

6. How would the proposal be likely to increase demands on transportation or public services and utilities?

ONLY SLIGHT IMPACT w/ NEW ROAD AND MINIMAL NEW TRAFFIC ONCE EACH NEW LOT IS CONSTRUCTED

a. Proposed measures to reduce or respond to such demand(s) are: N/A

7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment. NO CONFLICTS

**Community Development Department**

Prosser Office: 620 Market Street, 1<sup>st</sup> Floor  
Kennewick Office: 102206 East Wiser Parkway  
[www.co.benton.wa.us](http://www.co.benton.wa.us)

**Planning Division**

(509) 786-5612  
P.O. Box 910, Prosser, WA 99350  
[planning.department@co.benton.wa.us](mailto:planning.department@co.benton.wa.us)

**Notice of Application - Optional DNS Process**

Benton County has received a preliminary plat application and environmental checklist for the following project:

Date of permit application: January 10, 2023  
Date of determination of completeness: January 11, 2023  
Date of Notice of Application: January 27, 2023  
Comment due date: 14 days from publication of this notice  
Date of Notice of Application Publication: February 1, 2023

Agency Contact: Michelle Cooke, Benton County Planning Manager  
[michelle.cooke@co.benton.wa.us](mailto:michelle.cooke@co.benton.wa.us) (509) 786-5612

Agency File Number(s): SUB 2022-004 and EA 2022-051

Project Description: The preliminary plat of Blair Loop for a subdivision of 56.8 acres into 11 lots with the smallest lot area being 5 acres in size.

Project Location: The site is located south of Old Inland Empire Hwy, north and south of the US Bureau of Reclamation Irrigation Canal and adjacent to the Yakima River in the northeast quarter of Section 27 and a portion of the southeast quarter of Section 22, Township 8 North, Range 30 W.M. (Parcel Numbers: 127951000002000, 127951000004000 and 122954000004000)

Project Applicant: Jerrod Sessler, 84009 W OIE Hwy, Prosser WA 99350

SEPA Environmental Review: The Benton County Planning Division has reviewed the proposed project for probable adverse environmental impacts and expects to issue a Determination of Non-Significance (DNS) or Mitigated Determination of Non-Significance (MDNS). The proposal may include mitigation measures under applicable codes, and the project review process may incorporate or require mitigation measures regardless of whether an EIS is prepared. The optional DNS process in WAC 197-11-355 is being used. This may be your only opportunity to comment on the environmental impacts of the proposed project.

Agencies, tribes, and the public are encouraged to review and comment on the proposed project and its probable environmental impacts. Comments must be submitted 14 days from date of publication to the Benton County Planning Division, P.O. Box 910, Prosser, WA 99350. Any information submitted to Benton County is subject to the public records disclosure law for the State of Washington (RCW Chapter 42.17) and all other applicable law that may require the release of the documents to the public.

Preliminary Development Regulations and Existing Environmental Documents: To evaluate the impacts of the proposed project, the following may be used for mitigation, consistency, and the development of findings and conclusions:

Benton County Code, including BCC Title 15 CAO, BCC Title 6.35 SEPA, Comprehensive Plan, BCC Title 9-Subdivision Regulations, BCC Title 11-Zoning Regulations, Department of Ecology, and the SEPA Environmental Checklist, dated December 15, 2022.

Other required agency evaluations, approvals, permits, and mitigation as necessary.

**Required Permits:**

Benton County Building Division Grading Permit, Special Flood Hazard Permit and other forms, reports, or approvals as necessary.

**Required Studies:**

Unknown at this time.

This project does require an open record hearing before the Planning Commission and a closed record hearing before the Board of County Commissioners. A copy of the subsequent threshold determination and any other information concerning this action may be obtained by contacting the Benton County Planning Division at P.O. Box 910, Prosser, WA, or (509) 786-5612.

Dated at Prosser, Washington on this 27th day of January 2023.



A handwritten signature in black ink, appearing to read "Michelle Cooke".

Michelle Cooke, Planning Manager  
Community Development Department



**PCM 1.15**

**MITIGATED DETERMINATION OF NON-SIGNIFICANCE**

**Proponent:** Jerrod Sessler  
84009 W OIE Hwy  
Prosser, WA 99350

**File No.** EA 2022-051

**Project Description:** The preliminary plat of Blair Loop a subdivision of 64.70 acres into 11 residential lots with an average lot size of 5.5 acres.

**Project Location:** The site is located in unincorporated Benton County south of Old Inland Empire Highway in Sections 22 and 27, Township 9 North, Range 25 East, W.M. in Prosser, WA on parcel numbers 122954000004000, 127951000004000, and 127951000002000.

**Jurisdiction:** Benton County, Washington.

**Lead Agency:** Benton County Planning Division.

**Threshold Determination:** The lead agency for this proposal has determined that it will not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(3), provided that the following measures are taken to mitigate potential adverse impacts. Substantive authority to require mitigation is derived from WAC 197-11-660 and Benton County Code, Chapter 6.35.120. The decision was made after review of a completed environmental checklist, comments received from various agencies and other information on file with the lead agency. This information is available to the public on request.

This MDNS is issued under WAC 197-11-355; no additional comments are being requested.

**Conditions/Mitigation Measures:** See Attached.

**Appeals:** You may appeal this determination to the Benton County Planning Division at P.O. Box 910, Prosser, WA 99350, **no later than July 13, 2023, by written notice.** The fee for a threshold determination appeal is \$800.00. An appeal of the determination must be made in writing to the Benton County Planning Division and a public hearing will be scheduled and the appellant will be notified of the date, time, and place. You should be prepared to make specific factual objections. Contact the Planning Division to read or ask about the procedures for SEPA appeals.

**SEPA Responsible Official:** Michelle Cooke  
**Position/Title:** Planning Division Manager  
**Address:** P.O. Box 910, Prosser WA 99350

Date: June 29, 2023

\_\_\_\_\_  
Michelle Cooke, Planning Manager

**DISTRIBUTION:**

Applicant	Media
Benton Clean Air Authority	WA State Dept. of Archaeology & Historic Preservation
Benton County Building Department	WA State Department of Ecology
Benton County Fire Marshal	WA State Department of Fish and Wildlife
Benton County Road Department	WA State Department of Health
Benton-Franklin Health District	WA State Department of Natural Resources
Futurewise	WA State Department of Transportation
Bureau of Land Management	Yakima Indian Nation
Bureau of Reclamation	Confederated Tribes of the Umatilla
Fire District #3	Sunnyside Valley Irrigation District
Environmental Review Inc.	Corps of Engineers

**CONDITIONS/MITIGATION MEASURES**  
**File No.: EA 2022-051- Preliminary Plat of Blair Loop**

**Applicant:** Jerrod Sessler  
84009 W OIE Hwy  
Prosser, WA 99350

**Documents and Regulations:**

The environment threshold determination and conditions are based on an analysis of information contained in the following documents or the applicable regulations and restrictions of various agencies:

1. Benton County, BCC Title 6.35 Environmental Policy (SEPA);
2. Benton County, BCC Title 11, Zoning;
3. Benton County, BCC Title 9, Subdivisions;
4. Benton County Comprehensive Plan;
5. Benton County, BCC Title 15 Critical Area Ordinance;
6. Benton County, BCC Title 3 Building Code, Fire Code, and Road Standards;
7. Regulations of the Benton Clean Air Agency;
8. Regulations of the Washington State Department of Fish and Wildlife, Department of Transportation, Department of Ecology, Department of Natural Resources and Department of Archaeology and Historic Preservation; and
9. Application submittal materials including a Preliminary Plat Survey, dated December 15, 2022, SEPA Environmental Checklist dated December 15, 2022, and a Preliminary Storm Drainage Report, dated December 22, 2021.
  - a. The following supplemental application materials were received June 26, 2023: Cultural Resource Survey.

**Findings:**

1. The applicant is proposing a preliminary plat to subdivide 64.70 acres into 11 residential lots with an average lot size of 5.5 acres.
2. Location:
  - a. The site is located in unincorporated Benton County south of Old Inland Empire Highway in Sections 22 and 27, Township 9 North, Range 25 East, W.M. in Prosser, WA on parcel numbers 122954000004000, 127951000004000, and 127951000002000.
3. Benton County, BCC Title 11, Zoning:
  - a. The zoning designation for the project area is Rural Lands Five Acre Zoning District (RL-5). This zoning district has a minimum lot size of five acres; and
  - b. Single-family homes are an allowed use in the RL-5 Zoning District.
4. Benton County, BCC Title 9, Subdivisions:
  - a. Applicant has applied for preliminary plat consideration in accordance with BCC 9.05 Preliminary Plats.

5. Benton County Comprehensive Plan:
  - a. The property is designated Rural Remote in the Benton County Comprehensive Plan.
6. Benton County, BCC Title 15, Critical Area Ordinance:
  - a. Upon completion of a review of BCC Title 15 and the Benton County Critical Area Maps, wetlands and steep slopes have been identified on this property however a critical area report is not required for the processing of a preliminary plat at this location as the residential development will not occur in close proximity to the mapped critical areas. Should any future development occur near these areas a critical area report may be required.
  - b. Wetlands: Per the National Wetland Inventory and the Washington State Department of Fish and Wildlife there are mapped wetlands are present on the parcel.
  - c. Critical Aquifer Recharge Area: None identified.
  - d. Fish and Wildlife Habitat Conservation Area: None identified.
  - e. Frequently Flooded Areas: Portions of the parcel are located within the 100-year flood boundary.
  - f. Geologically Hazardous Areas: Steep slopes greater than 15% are found within the parcel.
7. Benton County Shoreline Master Program:
  - a. Portions of Lots 6-11 are within the jurisdiction of the Shoreline Master Plan and any development or use must meet the requirements of the rural environment.
8. The applicant submitted the following materials for the SEPA review process:
  - a. Preliminary Storm Drainage Report, dated December 22, 2022;
  - b. Preliminary Plat Survey, dated December 15, 2022;
  - c. SEPA Environmental Checklist dated December 15, 2022; and
  - d. Cultural Resource Survey dated June 2023:
9. Letters submitted by the following agencies during the SEPA review process will additionally be considered during the preliminary plat review:
  - a. Washington State Department of Archeology and Historic Preservation, dated February 15, 2023;
  - b. US Bureau of Reclamation, dated February 21, 2023;
  - c. Benton Franklin Health District, dated October 4, 2022;
  - d. Sunnyside Valley Irrigation District, dated February 3, 2023.
  - e. West Benton Fire and Rescue, dated February 6, 2023.

**Conditions:**

The applicant must complete and comply with the following mitigating conditions for this Mitigated Determination of Non-Significance (MDNS).

1. **Benton County Planning Division:** Meet and comply with BCC Title 9, Subdivisions, including preliminary and final plat requirements, if approved. Compliance is required with the following for this project:
  - a. Preliminary Storm Drainage Report dated December 22, 2021 and SEPA Environmental Checklist dated December 15, 2022.

- b. Cultural Resource Survey dated June 2023 including but not limited to:
    - i. Archaeological monitoring of all ground disturbing activities within 100 feet of the subject area identified in the report.
    - ii. A Unanticipated Discovery Plan (UDP) shall be used during all ground-disturbing work on the project and the UDP shall be included with contract documents.
  - c. Per FEMA FIRM maps, portions of the parcel are located within the 100-year flood boundary.
    - i. Benton County Code 3.26.070(d)(4) requires all subdivisions located on parcels of 5 acres or more to provide base flood elevation data. The applicant shall submit base flood data for the project area.
2. **Washington State Department of Archeology and Historic Preservation:** The following comments were submitted by Department of Archaeology and Historic Preservation (DAHP) on February 15, 2023:
- a. DAHP has assigned the following Project Tracking Code: 2023-02-01045.
  - b. Our statewide predictive model indicates that there is a high probability of encountering cultural resources within the proposed project area. This is due, in part, to the proximity of the proposed project area to the Yakima River, a resource known to have been important to both Native Americans and settlers in this area. Further, the scale of the proposed ground disturbing actions would destroy any archaeological resources present. Identification during construction is not a recommended detection method because inadvertent discoveries often result in costly construction delays and damage to the resource. Therefore, we recommend a professional archaeological survey of the project area be conducted and a report be produced prior to ground disturbing activities. This report should meet DAHP's Standards for Cultural Resource Reporting.
  - c. We also recommend that any historic buildings or structures (45 years in age or older) located within the project area are evaluated for eligibility for listing in the National Register of Historic Places on Historic Property Inventory (HPI) forms. We highly encourage the SEPA lead agency to ensure that these evaluations are written by a cultural resource professional meeting the SOI Professional Qualification Standards in Architectural History.
3. **US Bureau of Reclamation:** The following comments were submitted by the US Bureau of Reclamation on February 21, 2023:
- a. The proposed bridge plan, its location, and associated improvement plans have not yet been provided to, nor approved by this agency.
  - b. This plat must not be approved or finalized until the detailed bridge plans approved by Benton County have been provided to the Bureau of Reclamation (Reclamation) Yakima Field Office and the Reclamation required engineering review, the National Environmental Policy Act review, and National Historic Preservation Act review are complete and all changes or actions required in those reviews have been completed and Reclamation approved.
  - c. Other items of concern that have not yet been determined include but are not limited to:
    - i. Water shed management (to include oils and runoff from entering canal)
    - ii. Urban encroachment (resulting in water seepage issues)
    - iii. Trespassing on USBR property and risk of entering canal (fences need to be designed and installed in compliance with policy)
    - iv. Canal Operations and Maintenance road access for Reclamation and preventing

unauthorized access.

- d. Upon receipt of the Benton County approved final plans on the proposed bridge to the Reclamation Yakima Field Office, Reclamation's engineering and policy review can begin along with the necessary National Environmental Policy Act and National Historic Preservation Act reviews.
4. **West Benton Fire and Rescue:** The following comments were submitted by West Benton Fire and Rescue on February 6, 2022:
- a. The proposed bridge will need to be rated for emergency vehicles weighing over 39 tons.

February 3, 2023

Michelle Cooke, Planning Manager  
Benton County Planning/Building Department  
Planning Annex  
P.O. Box 910  
Prosser, WA 99350

RE: Short Plat No. **SUB 2022-004, EA 2022-051**  
Landowners: **RQ Bradley LLC**  
Parcels: **1-2795-100-0002-000, 1-2795-100-0004-000, 1-2295-400-0004-000**

Dear Ms. Cooke:

This office has reviewed the proposed project. Sunnyside Valley Irrigation District (SVID) has the following comments:

1. Irrigation distribution facilities and 10' private irrigation easements must be provided to all new lots pursuant to RCW 58.17.310 and must be shown on the final plat to allow all lots to access irrigation water. This includes adjacent parcels with the same point of delivery.
2. Access for plats and/or subdivisions will not be allowed on SVID operation and maintenance roads.
3. SVID facilities falling within the parcel boundaries are to be located, surveyed, and shown on the final plat.
4. Buildings and/or Obstructions will not be allowed within SVID easements or rights-of-way.
5. All irrigation assessments must be paid in full prior to SVID approval.
6. Refer to [www.SVID.org](http://www.SVID.org) (under the 'Resources for Landowners' tab) for the list of general requirements for plat approval by SVID.
7. The project will require the purchase of a flowmeter.
8. **Contact SVID for additional short plat requirements and fees specific to this project.**

If you have any questions, please feel free to contact Rigo Diosdado at (509) 837-6980 or [diosdador@SVID.org](mailto:diosdador@SVID.org).

Sincerely,



Ron C. Cowin  
Assistant Manager – Engineering

**Donna Hutchinson**

---

**From:** Planning Department <Planning.Department@co.benton.wa.us>  
**Sent:** Thursday, February 9, 2023 11:26 AM  
**To:** cdamron@westbentonfirerescue.org  
**Subject:** RE: Notice of Application for EA 2022-051

Please see the response from Benton County Public Works regarding your question on the proposed Blair Loop Bridge. If you have any further questions please contact our office.



**Donna Hutchinson**  
Office Assistant II  
Community Development Dept.  
Planning Division  
PO Box 910 Prosser WA 99350  
(509) 786-5612

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**Prosser:** We are located within the Road Department/Public Works Office on the first floor of the Benton County Courthouse at 620 Market St, Prosser WA 99350.  
**Kennewick:** Public Services Building at 102206 E Wiser Parkway, Kennewick, which houses the Planning, Building and Road Departments.

---

**From:** Cristina Woods <Cristina.Woods@co.benton.wa.us>  
**Sent:** Thursday, February 9, 2023 8:27 AM  
**To:** Michelle Cooke <Michelle.Cooke@co.benton.wa.us>  
**Cc:** Matt Mahoney <Matt.Mahoney@co.benton.wa.us>; Planning Department <Planning.Department@co.benton.wa.us>  
**Subject:** RE: [EXTERNAL] RE: Notice of Application for EA 2022-051

Michelle

I have been out of the loop on this one so I will let Matt fill in the blanks if I missed something.

From what I could find that has not been determined/calculated yet. They have to provide us with load rating calculations meeting the requirements of the Federal Highway Administration when they submit the bridge design. The bridge load rating shall include Inventory and Operating Load Ratings for AASHTO 1,2,3, NRL, EV2, EV3, OL-1, OL-2. NBI Ratings Inventory and Operating. SHV Ratings SU4, SU5, SU6, SU7.

The above should address the concerns of the Fire Chief, but Matt can correct me if I am wrong.

Thanks



**Cristina Woods, MS** • *Engineering Associate III*  
Benton County Public Works  
102206 Wisner Parkway, Kennewick WA, 99338  
[cristina.woods@co.benton.wa.us](mailto:cristina.woods@co.benton.wa.us)  
(509) 786-5611

---

**From:** Planning Department <[Planning.Department@co.benton.wa.us](mailto:Planning.Department@co.benton.wa.us)>  
**Sent:** Wednesday, February 8, 2023 5:18 PM  
**To:** Matt Mahoney <[Matt.Mahoney@co.benton.wa.us](mailto:Matt.Mahoney@co.benton.wa.us)>; Cristina Woods <[Cristina.Woods@co.benton.wa.us](mailto:Cristina.Woods@co.benton.wa.us)>  
**Subject:** FW: [EXTERNAL] RE: Notice of Application for EA 2022-051

Hi Guys,

Do you know what the weight capacity of the proposed Blair Loop bridge will be?

Thanks,



**Michelle Cooke** • *Planning Manager*  
Benton County Community Development Department - Planning Division  
Benton County Courthouse, 620 Market Street, Prosser, WA 99350  
Benton County Public Services Office, 102206 E Wisner Parkway, Kennewick, WA 99338  
[Michelle.Cooke@co.benton.wa.us](mailto:Michelle.Cooke@co.benton.wa.us)  
(509) 786-5612

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**From:** Charles Damron <[cdamron@westbentonfirerescue.org](mailto:cdamron@westbentonfirerescue.org)>  
**Sent:** Monday, February 6, 2023 8:00 AM  
**To:** Planning Department <[Planning.Department@co.benton.wa.us](mailto:Planning.Department@co.benton.wa.us)>  
**Subject:** [EXTERNAL] RE: Notice of Application for EA 2022-051

**EXTERNAL EMAIL WARNING!!!:** This email originated from outside of Benton County. **DO NOT** click links or open attachments unless you recognize the sender and know the content is safe.

Donna,

The main question I would have is what the weight capacity of the bridge will be? West Benton Fire Rescue has vehicles that weigh over 39 Tons. The bridge would need to be rated for more than that.

Thank you,  
Charles Damron  
Fire Chief

---

**From:** Planning Department <[Planning.Department@co.benton.wa.us](mailto:Planning.Department@co.benton.wa.us)>  
**Sent:** Wednesday, February 1, 2023 11:57 AM  
**To:** Benton Clean Air - Noah Lee <[noah.lee@bentoncleanair.org](mailto:noah.lee@bentoncleanair.org)>; [seand@bfhd.wa.gov](mailto:seand@bfhd.wa.gov); Bureau of Land Management -

Kevin Devitt District Manager ([BLM\\_OR\\_SP\\_Mail@blm.gov](mailto:BLM_OR_SP_Mail@blm.gov)) <[BLM\\_OR\\_SP\\_Mail@blm.gov](mailto:BLM_OR_SP_Mail@blm.gov)>; [sydney.hanson@dahp.wa.gov](mailto:sydney.hanson@dahp.wa.gov); Dept. of Archaeology and Historic Preservation - SEPA Review ([sepa@dahp.wa.gov](mailto:sepa@dahp.wa.gov)) <[sepa@dahp.wa.gov](mailto:sepa@dahp.wa.gov)>; Dept. of Fish and Wildlife-SEPA Review <[R3planning@dfw.wa.gov](mailto:R3planning@dfw.wa.gov)>; Dept. of Natural Resources ([sepacenter@dnr.wa.gov](mailto:sepacenter@dnr.wa.gov)) <[sepacenter@dnr.wa.gov](mailto:sepacenter@dnr.wa.gov)>; Dept. of Natural Resources <[dnrmisepacenter@dnr.wa.gov](mailto:dnrmisepacenter@dnr.wa.gov)>; Dept. of Transportation ([scplanning@wsdot.wa.gov](mailto:scplanning@wsdot.wa.gov)) <[scplanning@wsdot.wa.gov](mailto:scplanning@wsdot.wa.gov)>; [alex@futurewise.org](mailto:alex@futurewise.org); Futurewise <[tim@futurewise.org](mailto:tim@futurewise.org)>; Cristina Woods <[Cristina.Woods@co.benton.wa.us](mailto:Cristina.Woods@co.benton.wa.us)>; Tom Price-Environmental Review Inc. ([envreview@gmail.com](mailto:envreview@gmail.com)) <[envreview@gmail.com](mailto:envreview@gmail.com)>; US Corps of Engineers <[cenww-re@usace.army.mil](mailto:cenww-re@usace.army.mil)>; WA Dept of Health - Kelly Cooper - WA Dept of Health - Kelly Cooper ([SEPA.reviewteam@doh.wa.gov](mailto:SEPA.reviewteam@doh.wa.gov)) <[SEPA.reviewteam@doh.wa.gov](mailto:SEPA.reviewteam@doh.wa.gov)>; Yakama Indian Nation SEPA Review <[enviroreview@yakama.com](mailto:enviroreview@yakama.com)>; Yakama Indian Nation-John Marvin <[john\\_marvin@yakama.com](mailto:john_marvin@yakama.com)>; Confederated Tribes of the Umatilla Indian Reservation - Ashley M. Morton ([AshleyMorton@ctuir.org](mailto:AshleyMorton@ctuir.org)) <[AshleyMorton@ctuir.org](mailto:AshleyMorton@ctuir.org)>; Umatilla Indian Nation <[EricQuaempts@ctuir.org](mailto:EricQuaempts@ctuir.org)>; KEPR TV <[newsroom@keprtv.com](mailto:newsroom@keprtv.com)>; [news@kndu.com](mailto:news@kndu.com); [kvevnews@kvev.com](mailto:kvevnews@kvev.com); KOLU FM <[kolu@kolu.com](mailto:kolu@kolu.com)>; KVEW ([gmnorthwest@kvev.com](mailto:gmnorthwest@kvev.com)) <[gmnorthwest@kvev.com](mailto:gmnorthwest@kvev.com)>; [editor@recordbulletin.com](mailto:editor@recordbulletin.com); [news@tri-cityherald.com](mailto:news@tri-cityherald.com); [news@yakimaherald.com](mailto:news@yakimaherald.com); KEPR TV <[newsroom@keprtv.com](mailto:newsroom@keprtv.com)>; [news@kndu.com](mailto:news@kndu.com); [kvevnews@kvev.com](mailto:kvevnews@kvev.com); KOLU FM <[kolu@kolu.com](mailto:kolu@kolu.com)>; KVEW ([gmnorthwest@kvev.com](mailto:gmnorthwest@kvev.com)) <[gmnorthwest@kvev.com](mailto:gmnorthwest@kvev.com)>; [editor@recordbulletin.com](mailto:editor@recordbulletin.com); [news@tri-cityherald.com](mailto:news@tri-cityherald.com); [news@yakimaherald.com](mailto:news@yakimaherald.com); Brad O'Brien <[Brad.O'Brien@co.benton.wa.us](mailto:Brad.O'Brien@co.benton.wa.us)>; Clark Posey <[Clark.Posey@co.benton.wa.us](mailto:Clark.Posey@co.benton.wa.us)>; Daniel Gonzalez <[Daniel.Gonzalez@co.benton.wa.us](mailto:Daniel.Gonzalez@co.benton.wa.us)>; Gary Tiplady <[Gary.Tiplady@co.benton.wa.us](mailto:Gary.Tiplady@co.benton.wa.us)>; Michelle Johnson <[Michelle.Johnson@co.benton.wa.us](mailto:Michelle.Johnson@co.benton.wa.us)>; Troy Taylor <[Troy.Taylor@co.benton.wa.us](mailto:Troy.Taylor@co.benton.wa.us)>; Veronica Vogt <[Veronica.Vogt@co.benton.wa.us](mailto:Veronica.Vogt@co.benton.wa.us)>; Bureau of Reclamation - C. Garner ([cgarner@usbr.gov](mailto:cgarner@usbr.gov)) <[cgarner@usbr.gov](mailto:cgarner@usbr.gov)>; Bureau of Reclamation - L Hendrix - Bureau of Reclamation ([lhendrix@usbr.gov](mailto:lhendrix@usbr.gov)) <[lhendrix@usbr.gov](mailto:lhendrix@usbr.gov)>; Bureau of Reclamation -McKinley ([cmckinley@usbr.gov](mailto:cmckinley@usbr.gov)) <[cmckinley@usbr.gov](mailto:cmckinley@usbr.gov)>; Charles Damron <[cdamron@westbentonfirerescue.org](mailto:cdamron@westbentonfirerescue.org)>; Sunnyside Valley Irrigation Dist. - Diane Weber <[weberd@svid.org](mailto:weberd@svid.org)>; Sunnyside Valley Irrigation District - Brandon Walker ([walkerb@svid.org](mailto:walkerb@svid.org)) <[walkerb@svid.org](mailto:walkerb@svid.org)>

**Subject:** RE: Notice of Application for EA 2022-051

The Benton County Planning Department has prepared the attached NOA in accordance with the State Environmental Policy Act regulation. This NOA is being circulated for review by all agencies with jurisdiction. We are circulating it for comments on the environmental impacts of this action. The documents related to this application can be found on the Dept. of Ecology SEPA Portal at: [SEPA record number 202300381, "Blair Loop Subdivision"](#)

We appreciate your review of the proposal and return of comments no later than February 15, 2023. This proposal will not be acted upon before that time.



**Donna Hutchinson**  
Office Assistant II  
Community Development Dept.  
Planning Division  
PO Box 910 Prosser WA 99350  
(509) 786-5612

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**Kennewick:** Public Services Building at 102206 E Wiser Parkway, Kennewick, which houses the Planning, Building and Road Departments.

---

**From:** Planning Department <[Planning.Department@co.benton.wa.us](mailto:Planning.Department@co.benton.wa.us)>  
**Sent:** Wednesday, February 8, 2023 5:18 PM  
**To:** Matt Mahoney <[Matt.Mahoney@co.benton.wa.us](mailto:Matt.Mahoney@co.benton.wa.us)>; Cristina Woods <[Cristina.Woods@co.benton.wa.us](mailto:Cristina.Woods@co.benton.wa.us)>  
**Subject:** FW: [EXTERNAL] RE: Notice of Application for EA 2022-051

Hi Guys,

Do you know what the weight capacity of the proposed Blair Loop bridge will be?

Thanks,



**Michelle Cooke** • *Planning Manager*  
Benton County Community Development Department - Planning Division  
Benton County Courthouse, 620 Market Street, Prosser, WA 99350  
Benton County Public Services Office, 102206 E Wisner Parkway, Kennewick, WA 99338  
[Michelle.Cooke@co.benton.wa.us](mailto:Michelle.Cooke@co.benton.wa.us)  
(509) 786-5612

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---

**From:** Charles Damron <[cdamron@westbentonfirerescue.org](mailto:cdamron@westbentonfirerescue.org)>  
**Sent:** Monday, February 6, 2023 8:00 AM  
**To:** Planning Department <[Planning.Department@co.benton.wa.us](mailto:Planning.Department@co.benton.wa.us)>  
**Subject:** [EXTERNAL] RE: Notice of Application for EA 2022-051

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Donna,

The main question I would have is what the weight capacity of the bridge will be? West Benton Fire Rescue has vehicles that weigh over 39 Tons. The bridge would need to be rated for more than that.

Thank you,  
Charles Damron  
Fire Chief

---

**From:** Planning Department <[Planning.Department@co.benton.wa.us](mailto:Planning.Department@co.benton.wa.us)>  
**Sent:** Wednesday, February 1, 2023 11:57 AM  
**To:** Benton Clean Air - Noah Lee <[noah.lee@bentoncleanair.org](mailto:noah.lee@bentoncleanair.org)>; [seand@bfhd.wa.gov](mailto:seand@bfhd.wa.gov); Bureau of Land Management - Kevin Devitt District Manager ([BLM\\_OR\\_SP\\_Mail@blm.gov](mailto:BLM_OR_SP_Mail@blm.gov)) <[BLM\\_OR\\_SP\\_Mail@blm.gov](mailto:BLM_OR_SP_Mail@blm.gov)>; [sydney.hanson@dahp.wa.gov](mailto:sydney.hanson@dahp.wa.gov); Dept. of Archaeology and Historic Preservation - SEPA Review ([sepa@dahp.wa.gov](mailto:sepa@dahp.wa.gov)) <[sepa@dahp.wa.gov](mailto:sepa@dahp.wa.gov)>; Dept. of Fish and Wildlife-SEPA Review <[R3planning@dfw.wa.gov](mailto:R3planning@dfw.wa.gov)>; Dept. of Natural Resources ([sepacenter@dnr.wa.gov](mailto:sepacenter@dnr.wa.gov)) <[sepacenter@dnr.wa.gov](mailto:sepacenter@dnr.wa.gov)>; Dept. of Natural Resources <[dnrmisepacenter@dnr.wa.gov](mailto:dnrmisepacenter@dnr.wa.gov)>; Dept. of Transportation ([scplanning@wsdot.wa.gov](mailto:scplanning@wsdot.wa.gov)) <[scplanning@wsdot.wa.gov](mailto:scplanning@wsdot.wa.gov)>; [alex@futurewise.org](mailto:alex@futurewise.org); Futurewise <[tim@futurewise.org](mailto:tim@futurewise.org)>; Cristina Woods <[Cristina.Woods@co.benton.wa.us](mailto:Cristina.Woods@co.benton.wa.us)>; Tom Price-Environmental Review Inc. ([envreview@gmail.com](mailto:envreview@gmail.com)) <[envreview@gmail.com](mailto:envreview@gmail.com)>; US Corps of Engineers <[cenww-re@usace.army.mil](mailto:cenww-re@usace.army.mil)>; WA Dept of Health - Kelly Cooper - WA Dept of Health - Kelly Cooper ([SEPA.reviewteam@doh.wa.gov](mailto:SEPA.reviewteam@doh.wa.gov)) <[SEPA.reviewteam@doh.wa.gov](mailto:SEPA.reviewteam@doh.wa.gov)>; Yakama Indian Nation SEPA Review <[enviroreview@yakama.com](mailto:enviroreview@yakama.com)>; Yakama Indian Nation-John Marvin <[john\\_marvin@yakama.com](mailto:john_marvin@yakama.com)>; Confederated Tribes of the Umatilla Indian Reservation - Ashley M.

Morton ([AshleyMorton@ctuir.org](mailto:AshleyMorton@ctuir.org)) <[AshleyMorton@ctuir.org](mailto:AshleyMorton@ctuir.org)>; Umatilla Indian Nation <[EricQuaempts@ctuir.org](mailto:EricQuaempts@ctuir.org)>; KEPR TV <[newsroom@keprtv.com](mailto:newsroom@keprtv.com)>; [news@kndu.com](mailto:news@kndu.com); [kvevnews@kvevstv.com](mailto:kvevnews@kvevstv.com); KOLU FM <[kolu@kolu.com](mailto:kolu@kolu.com)>; KVEW ([gmnorthwest@kvevstv.com](mailto:gmnorthwest@kvevstv.com)) <[gmnorthwest@kvevstv.com](mailto:gmnorthwest@kvevstv.com)>; [editor@recordbulletin.com](mailto:editor@recordbulletin.com); [news@tri-cityherald.com](mailto:news@tri-cityherald.com); [news@yakimaherald.com](mailto:news@yakimaherald.com); KEPR TV <[newsroom@keprtv.com](mailto:newsroom@keprtv.com)>; [news@kndu.com](mailto:news@kndu.com); [kvevnews@kvevstv.com](mailto:kvevnews@kvevstv.com); KOLU FM <[kolu@kolu.com](mailto:kolu@kolu.com)>; KVEW ([gmnorthwest@kvevstv.com](mailto:gmnorthwest@kvevstv.com)) <[gmnorthwest@kvevstv.com](mailto:gmnorthwest@kvevstv.com)>; [editor@recordbulletin.com](mailto:editor@recordbulletin.com); [news@tri-cityherald.com](mailto:news@tri-cityherald.com); [news@yakimaherald.com](mailto:news@yakimaherald.com); Brad O'Brien <[Brad.O'Brien@co.benton.wa.us](mailto:Brad.O'Brien@co.benton.wa.us)>; Clark Posey <[Clark.Posey@co.benton.wa.us](mailto:Clark.Posey@co.benton.wa.us)>; Daniel Gonzalez <[Daniel.Gonzalez@co.benton.wa.us](mailto:Daniel.Gonzalez@co.benton.wa.us)>; Gary Tiplady <[Gary.Tiplady@co.benton.wa.us](mailto:Gary.Tiplady@co.benton.wa.us)>; Michelle Johnson <[Michelle.Johnson@co.benton.wa.us](mailto:Michelle.Johnson@co.benton.wa.us)>; Troy Taylor <[Troy.Taylor@co.benton.wa.us](mailto:Troy.Taylor@co.benton.wa.us)>; Veronica Vogt <[Veronica.Vogt@co.benton.wa.us](mailto:Veronica.Vogt@co.benton.wa.us)>; Bureau of Reclamation - C. Garner ([cgarner@usbr.gov](mailto:cgarner@usbr.gov)) <[cgarner@usbr.gov](mailto:cgarner@usbr.gov)>; Bureau of Reclamation - L Hendrix - Bureau of Reclamation ([lhendrix@usbr.gov](mailto:lhendrix@usbr.gov)) <[lhendrix@usbr.gov](mailto:lhendrix@usbr.gov)>; Bureau of Reclamation -McKinley ([cmckinley@usbr.gov](mailto:cmckinley@usbr.gov)) <[cmckinley@usbr.gov](mailto:cmckinley@usbr.gov)>; Charles Damron <[cdamron@westbentonfirerescue.org](mailto:cdamron@westbentonfirerescue.org)>; Sunnyside Valley Irrigation Dist. - Diane Weber <[weberd@svid.org](mailto:weberd@svid.org)>; Sunnyside Valley Irrigation District - Brandon Walker ([walkerb@svid.org](mailto:walkerb@svid.org)) <[walkerb@svid.org](mailto:walkerb@svid.org)>

**Subject:** RE: Notice of Application for EA 2022-051

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**Donna Hutchinson**  
Office Assistant II  
Community Development Dept.  
Planning Division  
PO Box 910 Prosser WA 99350  
(509) 786-5612

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**Kennewick:** Public Services Building at 102206 E Wiser Parkway, Kennewick, which houses the Planning, Building and Road Departments.

**From:** Tina Glines <glinest@bentonpud.org>  
**Sent:** Monday, February 6, 2023 8:37 AM  
**To:** Planning Department <Planning.Department@co.benton.wa.us>  
**Subject:** [EXTERNAL] RE: [E] Agency Review for SUB 2022-004 Blair Loop

**PCM 1.18**

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Thank you,

*Tina Glines*

Distribution Design Technician  
(509) 582-1241



---

**From:** Planning Department <[Planning.Department@co.benton.wa.us](mailto:Planning.Department@co.benton.wa.us)>  
**Sent:** Friday, February 3, 2023 3:42 PM  
**To:** Benton Clean Air - Noah Lee <[noah.lee@bentoncleanair.org](mailto:noah.lee@bentoncleanair.org)>; [seand@bfhd.wa.gov](mailto:seand@bfhd.wa.gov); Brad O'Brien <[Brad.Obrien@co.benton.wa.us](mailto:Brad.Obrien@co.benton.wa.us)>; Clark Posey <[Clark.Posey@co.benton.wa.us](mailto:Clark.Posey@co.benton.wa.us)>; Daniel Gonzalez <[Daniel.Gonzalez@co.benton.wa.us](mailto:Daniel.Gonzalez@co.benton.wa.us)>; Gary Tiplady <[Gary.Tiplady@co.benton.wa.us](mailto:Gary.Tiplady@co.benton.wa.us)>; Brian Bell <[Brian.Bell@co.benton.wa.us](mailto:Brian.Bell@co.benton.wa.us)>; Michelle Johnson <[Michelle.Johnson@co.benton.wa.us](mailto:Michelle.Johnson@co.benton.wa.us)>; Troy Taylor <[Troy.Taylor@co.benton.wa.us](mailto:Troy.Taylor@co.benton.wa.us)>; Veronica Vogt <[Veronica.Vogt@co.benton.wa.us](mailto:Veronica.Vogt@co.benton.wa.us)>; Burlington Northern Sante Fe Railroad <[carrie.thompson@BNSF.com](mailto:carrie.thompson@BNSF.com)>; Dept. of Transportation ([scplanning@wsdot.wa.gov](mailto:scplanning@wsdot.wa.gov)) <[scplanning@wsdot.wa.gov](mailto:scplanning@wsdot.wa.gov)>; [cdamron@westbentonfirerescue.org](mailto:cdamron@westbentonfirerescue.org); Frontier Telephone <[north.central.dbmc.control.desk@ncnetwork.net](mailto:north.central.dbmc.control.desk@ncnetwork.net)>; Cristina Woods <[Cristina.Woods@co.benton.wa.us](mailto:Cristina.Woods@co.benton.wa.us)>; School District # 17-Ryan Jones <[Ryan.Jones@ksd.org](mailto:Ryan.Jones@ksd.org)>; Sunnyside Valley Irrigation Dist. - Diane Weber <[weberd@svid.org](mailto:weberd@svid.org)>; Rigo Diosdado <[diosdador@svid.org](mailto:diosdador@svid.org)>; US Postal Service ([ina.n.beutler@usps.gov](mailto:ina.n.beutler@usps.gov)) <[ina.n.beutler@usps.gov](mailto:ina.n.beutler@usps.gov)>; US Postal Service - Address Management System <[Tina.C.Fisher@usps.gov](mailto:Tina.C.Fisher@usps.gov)>; WA Dept of Health - Kelly Cooper - WA Dept of Health - Kelly Cooper ([SEPA.reviewteam@doh.wa.gov](mailto:SEPA.reviewteam@doh.wa.gov)) <[SEPA.reviewteam@doh.wa.gov](mailto:SEPA.reviewteam@doh.wa.gov)>; [Jessica.Lally@Yakama.com](mailto:Jessica.Lally@Yakama.com); [Corrine.Camuso@Yakama.com](mailto:Corrine.Camuso@Yakama.com); Yakima Indian Nation-John Marvin <[john\\_marvin@yakama.com](mailto:john_marvin@yakama.com)>; Kim Lettrick <[k.lettrick@bces.wa.gov](mailto:k.lettrick@bces.wa.gov)>; Dept. of Fish and Wildlife- Review <[R3planning@dfw.wa.gov](mailto:R3planning@dfw.wa.gov)>; ASSESSOR <[Assessor@co.benton.wa.us](mailto:Assessor@co.benton.wa.us)>; PARKS <[PARKS@co.benton.wa.us](mailto:PARKS@co.benton.wa.us)>; Mosquito Control ([admin@mosquitocontrol.org](mailto:admin@mosquitocontrol.org)) <[admin@mosquitocontrol.org](mailto:admin@mosquitocontrol.org)>; Natural Resources Conservation Service ([Kenton.Rod@wa.usda.gov](mailto:Kenton.Rod@wa.usda.gov)) <[Kenton.Rod@wa.usda.gov](mailto:Kenton.Rod@wa.usda.gov)>; Madison Murphy <[Madison.Murphy@co.benton.wa.us](mailto:Madison.Murphy@co.benton.wa.us)>; Chad Brooks <[brooksc@bentonpud.org](mailto:brooksc@bentonpud.org)>; Shanna Everson <[eversons@bentonpud.org](mailto:eversons@bentonpud.org)>; Tina Glines <[glinest@bentonpud.org](mailto:glinest@bentonpud.org)>; Nancy Lang <[langn@bentonpud.org](mailto:langn@bentonpud.org)>; Bureau of Reclamation - C. Garner ([cgarner@usbr.gov](mailto:cgarner@usbr.gov)) <[cgarner@usbr.gov](mailto:cgarner@usbr.gov)>; Bureau of Reclamation - L Hendrix - Bureau of Reclamation ([lhendrix@usbr.gov](mailto:lhendrix@usbr.gov)) <[lhendrix@usbr.gov](mailto:lhendrix@usbr.gov)>; Bureau of Reclamation - McKinley ([cmckinley@usbr.gov](mailto:cmckinley@usbr.gov)) <[cmckinley@usbr.gov](mailto:cmckinley@usbr.gov)>  
**Subject:** [E] Agency Review for SUB 2022-004 Blair Loop

[EXTERNAL EMAIL]

Please see the attached information for agency review and comment on the preliminary plat of Blair Loop SUB 2022-004. If you have any questions please contact our office at this email address or call 509-786-5612.



Donna Hutchinson  
Office Assistant II  
Community Development Dept.  
Planning Division  
PO Box 910 Prosser WA 99350  
(509) 786-5612

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**Kennewick:** Public Services Building at 102206 E Wiser Parkway, Kennewick, which houses the Planning, Building and Road Departments.

**Donna Hutchinson**

---

**From:** Matt Mahoney  
**Sent:** Thursday, February 9, 2023 5:08 PM  
**To:** Cristina Woods; Michelle Cooke  
**Cc:** Planning Department  
**Subject:** RE: [EXTERNAL] RE: Notice of Application for EA 2022-051

All:

The information stated below and originally provided to the applicant is accurate and meets the load rating for the FAST Act's emergency vehicles.

An emergency vehicle as defined in the FAST Act is designed to be used under emergency conditions to transport personnel and equipment to support the suppression of fires and mitigation of other hazardous situations (23 U.S.C. 127(r)(2)). The gross vehicle weight limit for emergency vehicles is 86,000 pounds under section 127(r). The statute imposes the following additional limits, depending upon vehicle configuration:

- 24,000 pounds on a single steering axle
- 33,500 pounds on a single drive axle
- 62,000 pounds on a tandem axle
- 52,000 pounds on a tandem rear drive steer axle

Emergency vehicles are typically operated by fire departments and are primarily equipped for firefighting, but are also used to respond to and mitigate other hazardous situations in an emergency. These vehicles may not meet Federal Bridge Formula B. They can create higher load effects compared to the AASHTO legal loads (i.e., Types 3, 3S2, 3-3, and SU4 to SU7) which are currently included in the AASHTO Manual for Bridge Evaluation (MBE). The Federal Highway Administration (FHWA) has determined that, for the purpose of load rating, two emergency vehicle configurations produce load effects in typical bridges that envelop the effects resulting from the family of typical emergency vehicles that is covered by the FAST Act:

1. Type EV2 - for single rear axle emergency vehicles

Front Single Axle: 24,000 pounds  
Rear Single Axle: 33,500 pounds  
Wheelbase: 15 ft.

2. Type EV3 – for tandem rear axle emergency vehicles

Front Single Axle: 24,000 pounds  
Rear Tandem Axle: 62,000 pounds (two 31,000 pound axles spaced at 4 ft.)  
Wheelbase: 17 ft. (distance from front axle to the centerline of rear tandem axle)

Load ratings (or rating factors) should be determined for these emergency vehicle configurations i.e., Types EV2 and EV3, at the operating or legal load rating level in accordance with the methods specified in the AASHTO MBE, First Edition with two exceptions:

1. Multiple presence: If necessary, when combined with other unrestricted legal loads for rating purposes, the emergency vehicle needs only to be considered in a single lane of one direction of a bridge.

2. Live load factor: A live load factor of 1.3 may be utilized in the Load and Resistance Factor Rating (LRFR) or Load Factor Rating (LFR) method.

I know I may have provided more information than is necessary, but I want to illustrate to the Fire Chief what our requirements were so that he can provide any other requirements we should consider.

Please let us know if you need any further.

Thank you,



---

**From:** Cristina Woods <[Cristina.Woods@co.benton.wa.us](mailto:Cristina.Woods@co.benton.wa.us)>  
**Sent:** Thursday, February 9, 2023 8:27 AM  
**To:** Michelle Cooke <[Michelle.Cooke@co.benton.wa.us](mailto:Michelle.Cooke@co.benton.wa.us)>  
**Cc:** Matt Mahoney <[Matt.Mahoney@co.benton.wa.us](mailto:Matt.Mahoney@co.benton.wa.us)>; Planning Department <[Planning.Department@co.benton.wa.us](mailto:Planning.Department@co.benton.wa.us)>  
**Subject:** RE: [EXTERNAL] RE: Notice of Application for EA 2022-051

Michelle

I have been out of the loop on this one so I will let Matt fill in the blanks if I missed something.

From what I could find that has not been determined/calculated yet. They have to provide us with load rating calculations meeting the requirements of the Federal Highway Administration when they submit the bridge design. The bridge load rating shall include Inventory and Operating Load Ratings for AASHTO 1,2,3, NRL, EV2, EV3, OL-1, OL-2. NBI Ratings Inventory and Operating. SHV Ratings SU4, SU5, SU6, SU7.

The above should address the concerns of the Fire Chief, but Matt can correct me if I am wrong.

Thanks



**Cristina Woods, MS** • *Engineering Associate III*  
Benton County Public Works  
102206 Wiser Parkway , Kennewick WA, 99338  
[cristina.woods@co.benton.wa.us](mailto:cristina.woods@co.benton.wa.us)  
(509) 786-5611



State of Washington  
**Department of Fish and Wildlife**  
Habitat Program

2620 North Commercial Avenue, Pasco, WA 99301  
Phone: (509) 312-8117, E-mail: Troy.Maikis@dfw.wa.gov

February 10, 2023

Michelle Cooke  
Planning Manager  
Benton County Community Development Department - Planning Division  
102206 E Wisner Parkway  
Kennewick, WA 99338

RE: Preliminary Plat of Blair Loop SUB 2022-004

WDFW has completed a desktop review of the proposed Blair Loop Preliminary Plat Review SUB 2022-004/EA 2022-051. Based upon the written description and maps found in the Preliminary Plat Review sheet, it appears that the location is actually Section 22 and Section 27, Township 9 North, Range 25 East and not Section 22 and Section 27, Township 8 North, Range 25 East. The following comments are based on a review of Township 9 North, Range 25 East.

After a desktop review, aerial imagery shows that Parcel 127951000002000 appears to have experienced significant disturbance in recent years, causing a removal of significant shrub and tree cover. Maintaining or improving the existing shrub cover on the area is important for wildlife and continued removal may have a detrimental impact on wildlife use.

The primary concern that WDFW has identified in this area is potential impacts to the shoreline of the Yakima River. From aerial photographs, it appears that the site contains a riparian zone along the west bank of the river. This vegetation is habitat for wildlife and provides shade for the Yakima River. The vegetation south of the railroad tracks appears to have been reduced in recent years by what appears to have been a small fire. This portion of the Yakima River contains multiple priority species and their associated habitats and as such required to be protected under Benton County Shoreline Master Program Policy Chapter H and Benton County Shoreline Master Program Regulations Section 15.06.030 and 15.06.070.

WDFW would like to ensure that the riparian area remains intact at the conclusion of any subdivision and subsequent development of this area. Within Parcel 127951000002000, this riparian area ranges from approximately 75 feet to approximately 150 feet from the ordinary high water line. Benton County Shoreline Master Program Regulations Section 15.06.030, Table 06.030 – 2 states that “new and expanded uses in shoreline jurisdiction shall be located to avoid and minimize intrusion into riparian areas, as well as avoid tree and shrub removal.” In light of the riparian habitat present and need for the protection thereof, **WDFW proposes a minimum 150 foot buffer + 25 foot setback for any development within current Parcel 127951000002000.**

February 10, 2023  
Benton County Community Development Department  
Michelle Cooke  
Page 2

WDFW also notes a potential watercourse bisecting Parcel 127951000002000. Such a watercourse may be subject to critical areas codes. WDFW would be happy to coordinate on a site visit to determine if the area meets the definitions of waters of the state.

Thank you for the opportunity to comment on the proposed Blair Loop Preliminary Plat Review. If you have any questions or would like to speak further about the recommendations presented in this letter, please contact Troy Maikis at 509-312-8117 or [Troy.Maikis@dfw.wa.gov](mailto:Troy.Maikis@dfw.wa.gov).

Sincerely,

A handwritten signature in black ink, appearing to be 'Troy Maikis', consisting of a stylized 'T' followed by a long horizontal stroke that curves upwards at the end.

**Troy Maikis**  
Area Habitat Biologist; Benton and Franklin Counties  
Washington Department of Fish & Wildlife  
2620 Commercial Ave  
Pasco, WA 99301  
(509) 312-8117

cc: Perry Harvester, WDFW Regional Habitat Program Manager, Region 3, Yakima  
Elizabeth Torrey, WDFW Assistant Habitat Program Manager, Region 3, Ellensburg



**BENTON COUNTY WA**

**PUBLIC WORKS DEPARTMENT**

**TO: PLANNING DEPARTMENT**

**FROM: CRISTINA WOODS**

**DATE:02/14/2023**

**SUBJECT: PRELIMINARY PLAT – SUB 2022-004 (BLAIR LOOP)**

---

Please add the following as conditions of final approval for the above reference plat:

1. The developer shall provide a complete set of engineered construction drawings for review and approval by the County and associated utilities. The drawings shall contain all appropriate information listed on the attached Minimum Plan Requirements. Grading plan will include grading to shape any drainage easements to route and fully contain all runoff based upon the 100-year storm within the easement limits. All plans and associated reports shall be prepared by a Professional Engineer licensed to practice in the State of Washington
2. All construction shall be in accordance with the most current WSDOT Standard Specifications for Road, Bridge and Municipal Construction, applicable Benton County Standard Plans and the requirements of the County Engineer
3. All roads within this plat shall follow standard R-2 with the addition of a minimum 1-foot gravel shoulder. Roadways shall be designed for a minimum 35 mile per hour design speed
4. The pavement return radius at all intersections shall be a minimum of 35 feet
5. All stormwater from the roadways shall be contained on the plat and shall utilize surface infiltration (ditches, swales, ponds) for detention. The developer shall have an infiltration test performed at each proposed detention area. Tests shall be done with an infiltrometer using the falling head or constant head method. Other methods of infiltration rate determination shall be approved by the County
6. The developer shall provide a complete stormwater runoff report developed in accordance with the Stormwater Management Manual for Eastern Washington accounting for all impervious and pervious surfaces draining to the roadside ditches. Design storm shall be a Modified SCS Type IA with a 25-year return frequency
7. All signage including but not limited to stop signs, speed limit signs and street name signs shall be installed by the developer in accordance with Benton County Standard Plans
8. All new power, telephone, cable TV and irrigation shall be installed outside of the County right of way in the appropriate easements. Domestic water piping may be installed within the County right of way in accordance with a valid franchise agreement
9. Survey monuments, with cases and covers per Benton County Standard R-14B, shall be placed at all road intersections, points of curvature, points of tangency, centers of cul-de-sacs, section corners and quarter corners. All monuments shall be set by a Professional Land Surveyor licensed to practice in the state of Washington

10. Per special conditions of road approach permit 2020-280 the approach on the NE corner of lot 3 on this plat shall be removed and a new paved approach connecting to the new proposed road shall be constructed as part of this subdivision.
11. Dedicate 60' of right of way to Benton County for road purposes.
12. Remove the 60' radius temporary turn around on lot 6.
13. The proposed road shall be paved in its entirety.
14. The temporary turn-around at the end of the proposed road shall be paved.
15. Previous comments sent to the developer with plan requirements for road and bridge construction remain in effect.
16. After final approval of the road construction, one full size Mylar of the record drawings shall be provided to Public Works.

**Add the following notes to the face of the final plat**

1. Prior to the construction of any driveway or the issuance of any building permit for any lot within this subdivision the property owner shall obtain a Road Approach Permit from the Benton County Public Works Department and install the required temporary construction access
2. No trees, shrubs, weeds, fencing or other obstructions more than 24 inches in height are permitted within Benton County right of way
3. Property owners that install grass, curbing, rock mulch or other landscaping within the County right of way do so at their own risk. The County will not repair or replace damaged landscaping due to construction or maintenance operations
4. Benton County is not responsible for the maintenance or upkeep of any stormwater retention facility or drainage easements. All such maintenance and upkeep are the responsibility of the underlying property owner
5. Lots 1 and 3 shall not have direct access to Old Inland Empire Highway
6. The temporary turn-around shall remain in effect until such time "Proposed Road" is extended



Allyson Brooks Ph.D., Director  
State Historic Preservation Officer

February 15, 2023

Michelle Cooke  
Planning Manager  
Benton County  
620 Market St, 1<sup>st</sup> Floor  
Prosser, WA 99350

In future correspondence please refer to:  
Project Tracking Code: 2023-02-01045  
Property: Benton County\_Blair Loop Subdivision (EA 2023-001)  
Re: Survey Requested

Dear Michelle Cooke:

Thank you for contacting the Washington State Historic Preservation Officer (SHPO) and Department of Archaeology and Historic Preservation (DAHP) and providing documentation regarding the above referenced project. These comments are based on the information available at the time of this review and on behalf of the SHPO in conformance Washington State law. Should additional information become available, our assessment may be revised.

Our statewide predictive model indicates that there is a high probability of encountering cultural resources within the proposed project area. This is due, in part, to the proximity of the proposed project area to the Yakima River, a resource known to have been important to both Native Americans and settlers in the past. Further, the scale of the proposed ground disturbing actions would destroy any archaeological resources present. Identification during construction is not a recommended detection method because inadvertent discoveries often result in costly construction delays and damage to the resource. Therefore, we recommend a professional archaeological survey of the project area be conducted and a report be produced prior to ground disturbing activities. This report should meet DAHP's [Standards for Cultural Resource Reporting](#).

We also recommend that any historic buildings or structures (45 years in age or older) located within the project area are evaluated for eligibility for listing in the National Register of Historic Places on Historic Property Inventory (HPI) forms. We highly encourage the SEPA lead agency to ensure that these evaluations are written by a cultural resource professional meeting the [SOI Professional Qualification Standards in Architectural History](#).

Please note that the recommendations provided in this letter reflect only the opinions of DAHP. Any interested Tribes may have different recommendations. We appreciate receiving any correspondence or comments from Tribes or other parties concerning cultural resource issues that you receive.

Thank you for the opportunity to comment on this project. Please ensure that the DAHP Project Tracking Number is shared with any hired cultural resource consultants and is attached to any



communications or submitted reports. Please also ensure that any reports, site forms, and/or historic property inventory (HPI) forms are uploaded to WISAARD by the consultant(s).

Should you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in blue ink that reads "Sydney Hanson". The signature is fluid and cursive, with a long horizontal line extending to the right from the end of the name.

Sydney Hanson  
Local Government Archaeologist  
(360) 280-7563  
Sydney.Hanson@dahp.wa.gov





IN REPLY REFER TO:

# United States Department of the Interior

BUREAU OF RECLAMATION  
 Yakima Field Office  
 1917 Marsh Road  
 Yakima, WA 98901-2058



RECEIVED

FEB 22 2023

Benton County  
 Planning Division

2.2.3.18  
 YAK-5140

Sent Via Email to: [Michelle.cooke@co.benton.wa.us](mailto:Michelle.cooke@co.benton.wa.us) and  
[planning.department@co.benton.wa.us](mailto:planning.department@co.benton.wa.us)

Michelle Cooke  
 Benton County Planning Manager  
 PO Box 910  
 Prosser WA 99350

Re: **SUB 2022-004 and EA 2022-051** Application for Preliminary Plat of Blair Loop Dated February 3, 2023, and Notice of Application Dated January 10, 2023 /SEPA Checklist Jerrod Sessler, 84009 W OIE Hwy, Prosser WA 99350 Parcel ID Numbers 55747 and 55745 in the Northwest Quarter of the Northeast Quarter of Section 27, Township 9 North, Range 25 East, Willamette Meridian, U.S. Bureau of Reclamation Yakima Project, Benton County, State of Washington,

Dear Ms. Cooke:

Regarding your request for comments on the Preliminary Plat Review and Notice of Application/SEPA Checklist referenced above, it should be noted that this bridge plan, its location, and associated improvement plans have not yet been provided to, nor approved by this agency. **This plat must not be approved or finalized until the detailed bridge plans approved by Benton County have been provided to the Bureau of Reclamation (Reclamation) Yakima Field Office and the Reclamation required engineering review, the National Environmental Policy Act review, and National Historic Preservation Act review are complete and all changes or actions required in those reviews have been completed and Reclamation approved.**

Other items of concern that have not yet been determined include but are not limited to:

- Water shed management (to include oils and runoff from entering canal)
- Urban encroachment (resulting in water seepage issues)

INTERIOR REGION 9 • COLUMBIA-PACIFIC NORTHWEST

IDAHO, MONTANA\*, OREGON\*, WASHINGTON

\* PARTIAL

- Trespassing on USBR property and risk of entering canal (fences need to be designed and installed in compliance with policy)
- Canal Operations and Maintenance road access for Reclamation and preventing unauthorized access.

Upon receipt of the Benton County approved final plans on the proposed bridge to the Reclamation Yakima Field Office, Reclamation's engineering and policy review can begin along with the necessary National Environmental Policy Act and National Historic Preservation Act reviews.

Sincerely,

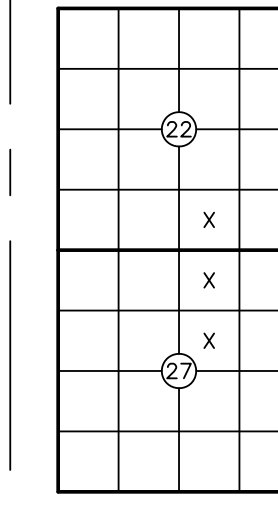
**CHAD STUART** Digitally signed by CHAD STUART  
Date: 2023.02.21 14:31:59 -08'00'

Chad Stuart  
Yakima Field Office Manager

Cc: Kennewick Irrigation District

PRELIMINARY PLAT OF BLAIR LOOP DEV

PREPARED FOR RQ BRADLEY, LLC PORTIONS OF THE SE 1/4 SECTION 22 & NE 1/4 SECTION 27, TOWNSHIP 9 NORTH, RANGE 25 EAST, WILLAMETTE MERIDIAN, BENTON COUNTY, WASHINGTON



DESCRIPTIONS

PARCEL A THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 9 NORTH, RANGE 25 EAST, W.M., RECORDS OF BENTON COUNTY, WASHINGTON, DEFINED AS FOLLOWS: THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, AND THAT PORTION OF GOVERNMENT LOT 1 IN SAID SECTION 22, LYING SOUTHERLY OF OLD INLAND EMPIRE HIGHWAY AND WESTERLY OF LINE BEARING SOUTH 45° EAST FROM POINT OF INTERSECTION OF WEST LINE OF SAID GOVERNMENT LOT 1 AND SOUTHERLY RIGHT OF WAY LINE OF OREGON-WASHINGTON RAILROAD AND NAVIGATION COMPANY RAILROAD.

EXCEPT THAT PORTION OF SAID SECTION 22 LYING WITHIN THE FOLLOWING DESCRIBED PARCEL: THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER AND GOVERNMENT LOT 2 IN SECTION 27, TOWNSHIP 9 NORTH, RANGE 25 EAST, WILLAMETTE MERIDIAN AND THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER AND GOVERNMENT LOT 1 IN SECTION 22, TOWNSHIP 9 NORTH, RANGE 25 EAST, WILLAMETTE MERIDIAN, BENTON COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID GOVERNMENT LOT 1, SECTION 22, TOWNSHIP 9 NORTH, RANGE 25 EAST, W.M., THENCE NORTH 07°33'32" EAST ALONG THE WEST LINE THEREOF 189.52 FEET TO A POINT ON INTERSECTION WITH THE SOUTHERLY LINE OF THE OREGON-WASHINGTON RAILWAY AND NAVIGATION COMPANY RIGHT OF WAY; THENCE SOUTH 44°26'28" EAST 12.24 FEET TO THE SOUTHERLY MARGIN OF THE OLD INLAND EMPIRE HIGHWAY AND THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 44°26'28" EAST 183.76 FEET TO THE NORTHERLY LINE OF THE CHANDLER CANAL RIGHT OF WAY; THENCE SOUTHWESTERLY ALONG SAID RIGHT OF WAY THROUGH A CURVE TO THE LEFT, 101.58 FEET THROUGH A CENTRAL ANGLE OF 23°11'19" AND A RADIUS OF 251.00 FEET; THENCE SOUTH 60°17'10" EAST RADIAL TO SAID CURVE 5.00 FEET; THENCE SOUTH 29°42'50" WEST 159.15 FEET TO A POINT OF CURVE; THENCE ALONG SAID CURVE TO THE RIGHT 122.80 FEET THROUGH A CENTRAL ANGLE OF 49°23'30" AND A RADIUS OF 174.20 FEET TO A POINT OF TANGENCY; THENCE SOUTH 70°06'20" WEST 484.12 FEET TO A POINT OF CURVE; THENCE ALONG SAID CURVE TO THE LEFT, 59.00 FEET THROUGH A CENTRAL ANGLE OF 9°53'58" AND A RADIUS OF 341.50 FEET; THENCE NORTH 71°13'37" EAST 322.67 FEET; THENCE NORTH 00°06'15" WEST 213.70 FEET TO THE SOUTHERLY MARGIN OF SAID OLD INLAND EMPIRE HIGHWAY; THENCE NORTH 82°07'36" EAST ALONG SAID MARGIN 438.05 FEET TO A POINT OF CURVE; THENCE ALONG SAID CURVE TO THE LEFT 140.18 FEET THROUGH A CENTRAL ANGLE OF 1°23'41" AND A RADIUS OF 5,758.84 FEET TO THE TRUE POINT OF BEGINNING;

AND EXCEPT ANY PORTION LYING WITHIN PARCEL DEEDED TO BENTON COUNTY BY INSTRUMENT RECORDED UNDER AUDITOR'S FILE NO. 413945.

PARCEL B THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 9 NORTH, RANGE 25 EAST, W.M., RECORDS OF BENTON COUNTY, WASHINGTON, WEST OF YAKIMA RIVER AND NORTH OF N.P. RAILWAY RIGHT OF WAY, LESS THE WEST 12 FEET OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER FOR ROAD RIGHT OF WAY AND EXCEPT THE WEST 12 FEET OF THE NORTH 16.5 FEET OF LOT 3, LESS PROSSER IRRIGATION DISTRICT CANAL, EXCEPT ANY PORTION THEREOF LYING SOUTH OF CANAL, AND EXCEPT THAT PORTION OF SECTION 27 LYING WITHIN THE FOLLOWING DESCRIBED PARCEL: THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER AND GOVERNMENT LOT 2 IN SECTION 27, TOWNSHIP 9 NORTH, RANGE 25 EAST, WILLAMETTE MERIDIAN AND THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER AND GOVERNMENT LOT 1 IN SECTION 22, TOWNSHIP 9 NORTH, RANGE 25 EAST, WILLAMETTE MERIDIAN, BENTON COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID GOVERNMENT LOT 1, SECTION 22, TOWNSHIP 9 NORTH, RANGE 25 EAST, W.M., THENCE NORTH 07°33'32" EAST ALONG THE WEST LINE THEREOF 189.52 FEET TO A POINT ON INTERSECTION WITH THE SOUTHERLY LINE OF THE OREGON-WASHINGTON RAILWAY AND NAVIGATION COMPANY RIGHT OF WAY; THENCE SOUTH 44°26'28" EAST 12.24 FEET TO THE SOUTHERLY MARGIN OF THE OLD INLAND EMPIRE HIGHWAY AND THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 44°26'28" EAST 183.76 FEET TO THE NORTHERLY LINE OF THE CHANDLER CANAL RIGHT OF WAY; THENCE SOUTHWESTERLY ALONG SAID RIGHT OF WAY THROUGH A CURVE TO THE LEFT, 101.58 FEET THROUGH A CENTRAL ANGLE OF 23°11'19" AND A RADIUS OF 251.00 FEET; THENCE SOUTH 60°17'10" EAST RADIAL TO SAID CURVE 5.00 FEET; THENCE SOUTH 29°42'50" WEST 159.15 FEET TO A POINT OF CURVE; THENCE ALONG SAID CURVE TO THE RIGHT 122.80 FEET THROUGH A CENTRAL ANGLE OF 49°23'30" AND A RADIUS OF 174.20 FEET TO A POINT OF TANGENCY; THENCE SOUTH 70°06'20" WEST 484.12 FEET TO A POINT OF CURVE; THENCE ALONG SAID CURVE TO THE LEFT, 59.00 FEET THROUGH A CENTRAL ANGLE OF 9°53'58" AND A RADIUS OF 341.50 FEET; THENCE NORTH 71°13'37" EAST 322.67 FEET; THENCE NORTH 00°06'15" WEST 213.70 FEET TO THE SOUTHERLY MARGIN OF SAID OLD INLAND EMPIRE HIGHWAY AND THE TRUE POINT OF BEGINNING;

PARCEL C THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER LYING SOUTH OF THE KID CANAL; TOGETHER WITH THAT PORTION OF GOVERNMENT LOT 2 LYING SOUTH OF THE KID CANAL; AND TOGETHER WITH THAT PORTION OF GOVERNMENT LOT 3 LYING NORTH OF THE NORTHERN PACIFIC RAILROAD RIGHT-OF-WAY AND LYING SOUTH OF THE KID CANAL, EXCEPT CANAL RIGHT OF WAY; ALL IN SECTION 27, TOWNSHIP 9 NORTH, RANGE 25 EAST, WM, BENTON COUNTY, WASHINGTON; AND EXCEPT ROADS.

SURVEYOR'S CERTIFICATION

I, ASHLEY D. GARZA, A LAND SURVEYOR REGISTERED IN THE STATE OF WASHINGTON, HEREBY CERTIFY THAT THE PLAT AS SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN AND THAT THE LOT CORNERS HAVE BEEN STAKED ON THE GROUND AS SHOWN HEREON.



ASHLEY D. GARZA CERTIFICATE NO. 545534 DATE

SURVEYOR'S NOTES

- 1. DATE OF SURVEY/MONUMENTS VISITED: MAY 2018.
2. BASIS OF BEARING: NAD83(91) WASHINGTON STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.
3. UNITS OF MEASURE: US SURVEY FEET GRID DISTANCES. MULTIPLY GRID DISTANCES BY A COMBINED SCALE FACTOR OF 1.000098314 TO ACHIEVE GROUND DISTANCES.
DESCRIPTION DISTANCES, REFERENCE SURVEY DISTANCES AND LOT AREA ARE GROUND DISTANCES. MULTIPLY GROUND DISTANCES BY A COMBINED SCALE FACTOR OF 0.999901695 TO ACHIEVE SURVEYED GRID DISTANCES.
4. EQUIPMENT/PROCEDURES: TOPCON GR3 GNSS, RTK METHOD. LINEAR CLOSURES MEET OR EXCEED STANDARDS CONTAINED IN WAC 332-130-090.
5. VERTICAL DATUM: NAVD83.
6. CONTOUR INTERVAL: 2 FEET.
7. (R1) RECORD OF SURVEY, VOLUME 1 OF SURVEYS, PAGE 357, RECORDS OF BENTON COUNTY, WASHINGTON.

SURVEYOR'S NOTES

- 8. (R2) RECORD OF SURVEY, VOLUME 1 OF SURVEYS, PAGE 4105, RECORDS OF BENTON COUNTY, WASHINGTON.
9. (R3) USBR YAKIMA PROJECT CHANDLER CANAL RIGHT-OF-WAY MAP REVISED MARCH 1, 1954.
10. FOUND 3" BRASS CAP IN MONUMENT CASE
11. FOUND 1" IRON PIPE UNLESS NOTED OTHERWISE
12. CALCULATED POINT, NOT FOUND OR SET
13. POWER POLE
14. PHONE RISER/JUNCTION BOX
15. IRRIGATION VALVE VAULT
16. FENCE
17. OVERHEAD POWER LINE
18. RAILROAD

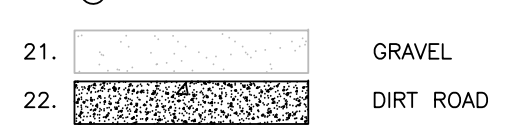
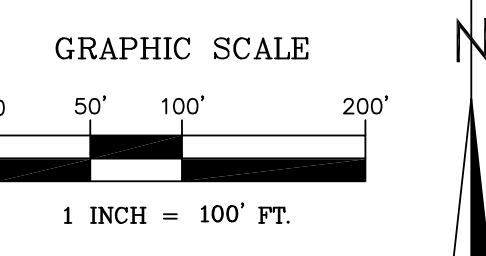


Table with 4 columns: Line #, Length, Direction, and another set of Line #, Length, Direction. Contains line data for L1 through L15.



1 INCH = 100' FT.

Permit Surveying, Inc. logo and contact information: 2245 Robertson Drive, Richland, Washington 99354. Office 509-375-4123, Fax 509-371-0898. Project No. 18007, Drawn by: JLS/ADG, Checked by: CCA, Scale: 1" = 100', Revision 0, Sheet 1 of 1, PPI.



## Fire Marshal Comments:

## **PCM 1.25**

Regarding SUB 2022-004 Blair Loop Subdivision:

All driveways that service single family dwellings in this subdivision shall comply with BCC 3.18.045. A packet of information is attached that references all applicable codes for private driveways.

For this subdivision to be exempt from the installation of fire hydrants for fire flow, all dwellings and accessory structures shall comply with BCC 3.18.025:

**3.18.025 GENERAL EXEMPTIONS.** The following are exempt from BCC 3.18.030, BCC 3.18.035, BCC 3.18.036, BCC 3.18.037, BCC 3.18.038, BCC 3.18.039, BCC 3.18.040, BCC 3.18.041, and BCC 3.18.042.

(a) Low Density Exemption - Divisions of land which satisfy all the following requirements:

- (1) Each lot created is at least one (1) gross acre or more in area; and
- (2) The minimum permitted setback distance for all structures, from all lot lines, is twenty-five (25) feet unless greater distances are required by other county regulations (i.e., zoning, building, etc.); and
- (3) The use of each lot created is limited by county regulations or plat covenant to a single family dwelling, duplex or other use which is not multi-family, commercial or industrial.

If you have questions on these requirements, please, feel free to contact the County Fire Marshal at (509) 735-3500. Ext 2411.

Re: SUB 2022-004

Gary Tiplady  
Benton County Fire Marshal



## BCC 3.18.045

### **"Minimum Driveway and Private Road Requirements"**

Procedure: Upon the Benton County Fire Marshal's office receiving a submittal from the Benton County Planning Department for a Sub-Division or the Benton County Building Department, for a new Residential Structure a review will be conducted to determine if the proposed Private Road or Driveway will meet the county requirements of BCC 3.18.045.

Benton County Code 3.18.045 MINIMUM ROAD REQUIREMENTS. ("Private Road" means a road, driveway, or any form of access easement more than one-hundred and fifty feet (150') in length that is not dedicated to and maintained by Benton County.)

(a) Except as otherwise provided in this chapter, the minimum acceptable improved surface for a private road shall be twenty feet in width that is graded and with two inches of compacted recycled concrete asphalt or two inches of base course crushed surfacing in accordance with the specifications set forth in Standard Specifications for Road, Bridges and Municipal Construction published by the Washington State Department of Transportation, as now in effect or hereafter amended.

(b) The minimum improved surface of a private road may be twelve feet in width surfaced with the materials set forth in subsection (a) above, but only if the private road serves six or fewer dwelling units (a duplex constitutes two dwelling units) and turnouts ten feet wide and thirty feet in length, surfaced in the same manner as the remainder of the private road, are placed every three hundred feet from a public road.

(c) If a private road has any curves or turns, the required improved width of any such private road shall be as determined and set forth in writing by the Fire Marshal to a width deemed necessary to allow the appropriate firefighting equipment to safely navigate such curves or turns. If no such written determination is requested of and made by the Fire Marshal, then a private road with curves or turns must be improved to a width of twenty feet in accordance with the standards set forth in subsection (a) above.

(d) All private roads must terminate in a turnaround that shall not require more than one backing up motion for a fire truck of at least thirty-seven feet in length from bumper to bumper to completely turn around.

All private roads must terminate in a turnaround that shall not require more than one backing up motion for a fire truck of at least thirty-seven feet in length from bumper to bumper to completely turn around.

(e) All private roads shall be constructed to applicable standards set forth above and all conditions of approval of an encroachment permit shall be satisfied prior to any certificate of occupancy being issued for that parcel.

(f) Bridges and Culverts. All private roads over any drainage, river, creek, etc. shall be traversed by a private bridge or culvert capable of supporting at least sixty thousand (60,000) pounds or such higher weight as deemed necessary and designated in writing by the Fire Marshal. Private bridges over twenty (20) feet long are not allowed. Private bridges and culverts shall be designed to handle a 25-year storm event; provided, if located in an area designated as a 100-year flood plain, then the design must meet the 100-year flood event. A letter stating that the private bridge or culvert design meets the requirements of this section must be submitted by a licensed Washington State Civil Engineer prior to construction and, for private bridges, every two (2) years thereafter.

(g) Access - Gradients.

- (1) For all developments accessed by private road, access shall be by at least one private road with a maximum gradient of twelve (12) percent or less; provided, such maximum gradient may be exceeded under either of the following circumstances:
  - (i) A maximum gradient of no more than fifteen (15) percent shall be permissible if the private road is surfaced with two (2) inches or more of asphalt or concrete; or
  - (ii) Subject to the written approval of the Fire Marshal, a maximum gradient of fifteen (15) percent may be allowed for less than two hundred (200) feet if such gradient is followed by a gradient of zero (0) percent for a period of six hundred (600) feet and adequately satisfies the vertical curve alignment necessary for the appropriate firefighting equipment. This design may be repeated as needed.
- (2) Notwithstanding subsection (1) above, the maximum gradient of a private road providing access to a dwelling unit shall not exceed twelve (12) percent at any point within two hundred (200) feet of an intersection of such private road with another private road or with a public road.
- (3) If requested, as-built drawings of each completed private road shall be submitted. The as-built drawing shall bear the stamp of a Washington State Registered Civil Engineer.

**Dead-end fire apparatus access roads more than 150' (feet) (45 720 mm) shall be provided with width and turnaround provisions in accordance with Table D103.4."**  
A 120-foot Hammerhead, a 60-foot "Y", or 96-foot diameter cul-de-sac is required.  
(Examples supplied on page five of this handout)

#### 3.04.046 SPECIAL FIRE PROTECTION.

3.04.046 SPECIAL FIRE PROTECTION. Notwithstanding other provisions of the International Building Code and/or the International Residential Code, the following restrictions shall apply:

(a) Except as set forth below, the use of cedar shakes or shingles or materials with similar flame spread characteristics for roof construction is prohibited.

(1) Cedar shakes or shingles or materials with similar flame spread may be used for roof construction of dwelling units that:

- (i) Are located in the Growth Management Act Agricultural District; and
- (ii) Are setback a minimum of 150' from all property lines and other dwelling units; and**
- (iii) No other dwelling unit on the parcel/lot may have a cedar roof as described in (a) above.

(2) Class A, B, or C rated cedar shakes or shingles may be used for additions to existing structures that have cedar shake or shingle roofs and for existing roof repairs on structures of any type that have cedar shakes or shingles, provided the new fire rated shakes or shingles will not comprise fifty (50) percent or more of the existing roof within a twelve (12) month period.

(b) Non-combustible siding and soffit material is required on the downhill side of structures within thirty (30) feet of a fifteen (15) percent or greater grade.

(c) All structures within thirty (30) feet of the property line shall have non-combustible siding, soffits, or skirting on the side adjacent to an undeveloped area of natural vegetation that is in excess of five (5) contiguous acres, provided, that this restriction shall not apply to interior lots of platted parcels and development phases whose streets are accessible, and the water system is operational.

### 3.04.048 GRADES FIFTEEN (15) PERCENT OR STEEPER.

When determined by the Fire Marshal, non-combustible siding/soffit/skirting shall be required on the downhill side(s) of the structure if within thirty (30) feet of fifteen (15) percent or greater grade. The grade will be determined by the predominant slope on the downhill side within a maximum of three hundred (300) feet.

Purpose: Provide for a uniform method for meeting the requirements of Benton County Code 3.18.045 Minimum Road Requirements.

Scope: This policy is applicable only to private roads as defined in Benton County Code 3.18.015. "Private Road" means a road, driveway or any form of access easement in excess of one-hundred and fifty (150') feet in length that is not dedicated to and maintained by Benton County."

Procedure: **Upon the Benton County Fire Marshal's office receiving a submittal from the** Benton County Planning Department or the Benton County Building Department, a review will be conducted to determine if the proposed private road meets the requirements of 3.18.045.

#### 12-foot-Wide Private Roads

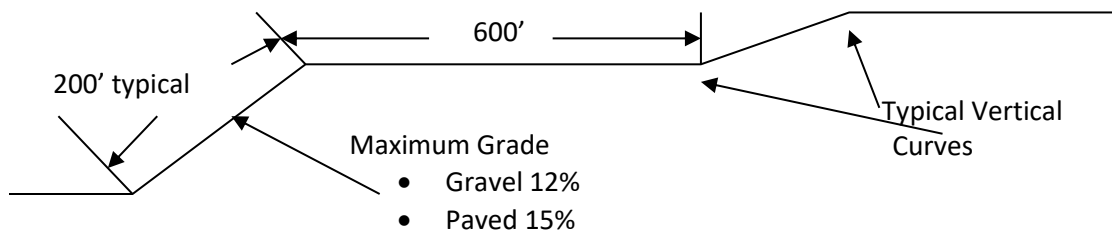
1. Road approval is required by the occupancy approval for a manufactured home, or by the final inspection for a site-built building.
2. Shall be permitted when serving six or less dwellings. A duplex count as two dwellings.
3. An approved turnaround is required when the private road length exceeds **150'** (feet).
4. Turnouts shall be every 300 feet, and the surface shall be the same as the private road.
5. Maximum grade for nonpaved surfaces is 12%. For paved surfaces, it is 15%.
6. Radius for turns, curves, or switchbacks must be approved prior to construction.
7. Stair stepping with approved vertical curves is permitted and may be repeated to the top.
8. Bridges and culverts must meet Benton County Code 3.18.045 (f). See Policy-Bridges/Culverts
9. Paved surfaces and compacted gravel surfaces shall be at least two inches thick.
  - Gravel surfaces shall meet the Base Course Standard
  - Professionals recommend gravel to be three inches thick.

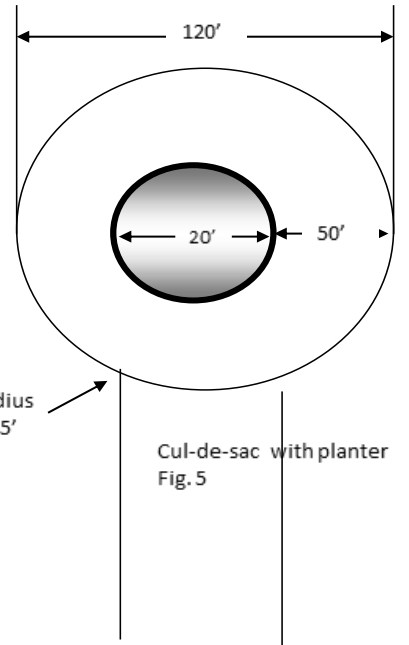
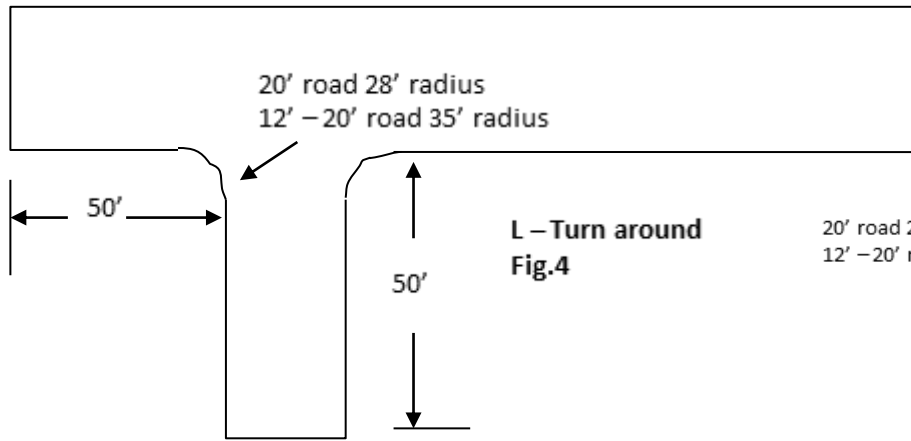
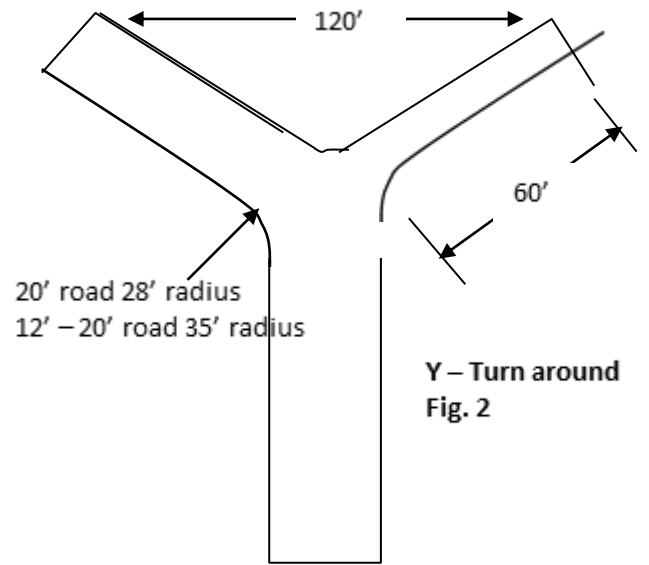
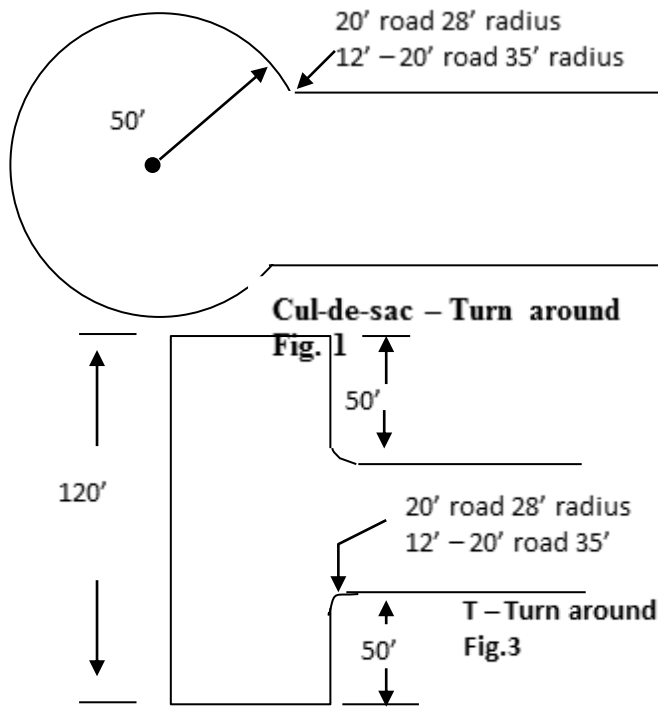
- At three inches, a cubic yard will cover 108 sq. ft. (12' x 9') At two inches, a cubic yard will cover 162 sq. ft. (12' x 13.5') A truck and trailer carries 21.5 cubic yards.

### 20-foot-Wide Private Roads

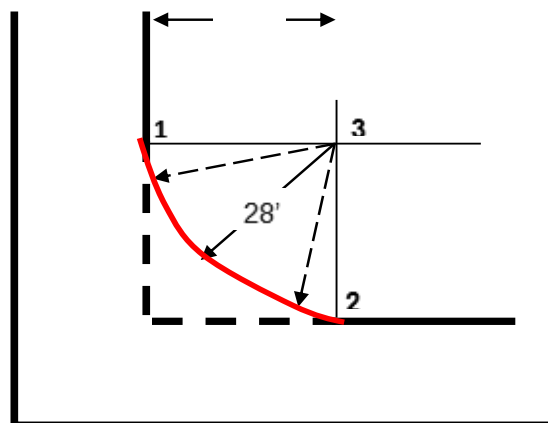
1. Road approval is required by the occupancy approval for a manufactured home, or by the final inspection for a site-built building.
2. An approved turnaround is required when the private road length exceeds **150'** (feet).
3. Maximum grade for nonpaved surfaces is 12%. For paved surfaces, it is 15%.
4. Radius for turns, curves, or switchbacks must be approved prior to construction
5. Stair stepping with approved vertical curves is permitted and may be permitted to the top.
6. Bridges and culverts must meet Benton County Code 3.18.045 (f). See Policy-Bridges/Culverts
7. Paved surfaces and compacted gravel surfaces shall be at least two inches thick.
  - Gravel surfaces shall meet the Base Course Standard
  - Professionals recommend gravel to be three inches thick.
  - **At three inches, a cubic yard will cover 108 sq. ft. (20' x 5.4')** **At two inches, a cubic yard will cover 162 sq. ft. (20' x 8')** A truck and trailer carry 21.5 cubic yards.

### Stair Stepping





One of the problems that confront most of us, is how to construct a radius. Perhaps the following may be of assistance. From the corner, measure 28' in both directions. From points 1 and 2, measure 28'. Drive a large nail into the ground (point 3) and hook a string.



Policy: Pullouts if your driveway exceeds 300 feet.

Purpose:

Provide for a uniform method for meeting the requirements of Benton County Code 3.18.045 (b) \_

Scope:

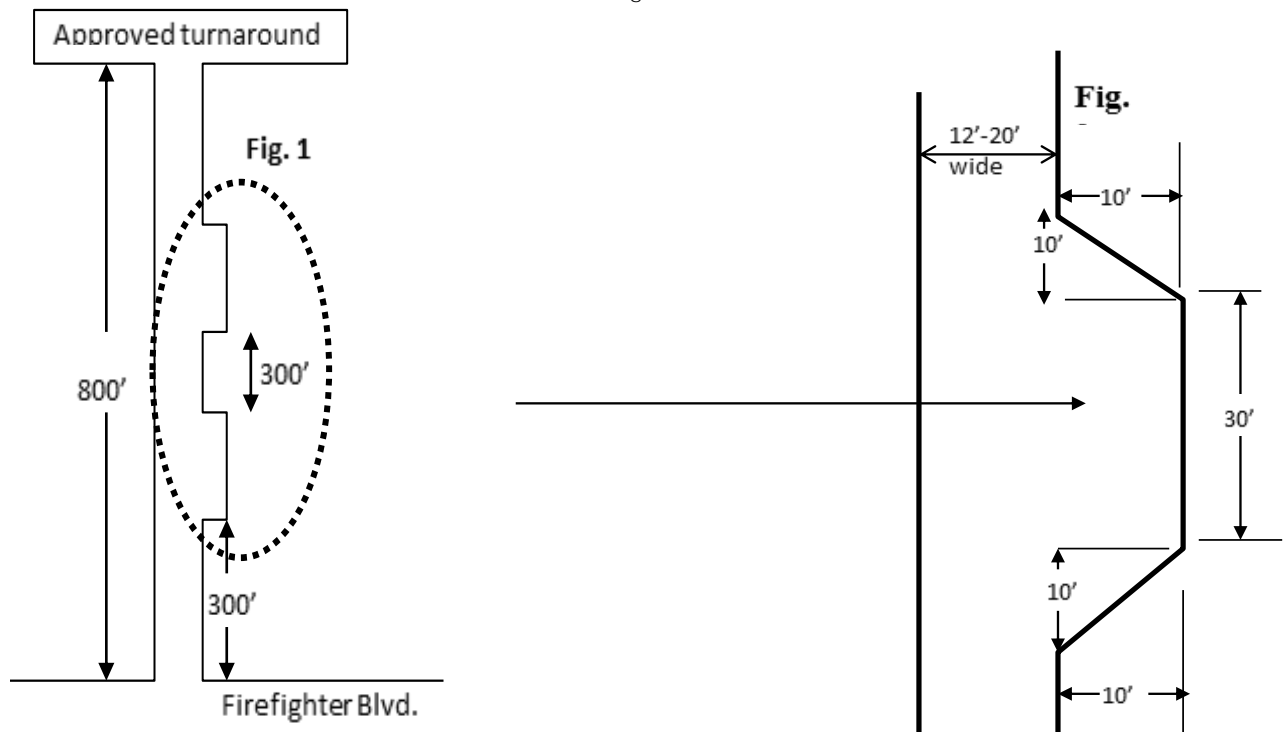
This policy is applicable only to private roads as defined in Benton County Code 3.18.015 that are between 12 feet and 20 feet wide and whose **length exceeds 300'**. Private Road" means a road, driveway or any form of access easement in excess of one hundred and fifty (150') feet in length that is not dedicated to **and maintained by Benton County."**

Procedure:

**Upon the Benton County Fire Marshal's** office receiving a submittal from the Benton County Planning Department or the Benton County Building Department, a review will be conducted to determine if the proposed private road meets the requirements of 3.18.045 (b).

- The private road must comply with all sections of Benton County Code 3.18.045.
- The pullout shall be required every 300' (feet). Fig. 1
- Turnout surface shall be the same as the private road.
- **Turnouts at a minimum shall be 10' x 30'.**

Fig. 2



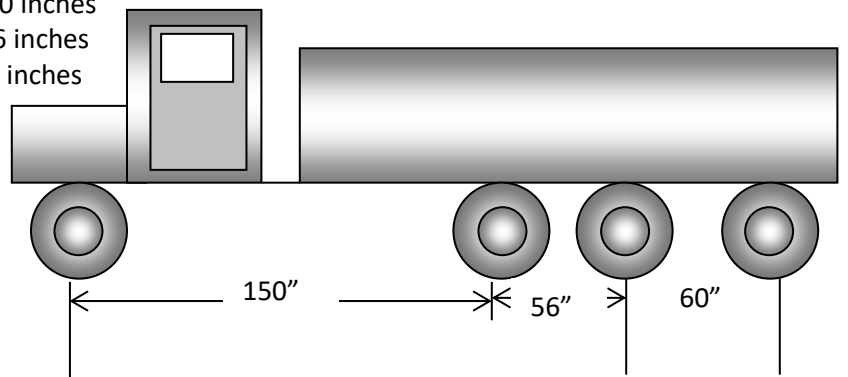
**Policy: BRIDGE DESIGN for Private Roads and Driveways.**

**Purpose:** Provide for a uniform method for the design and posting of private bridges.

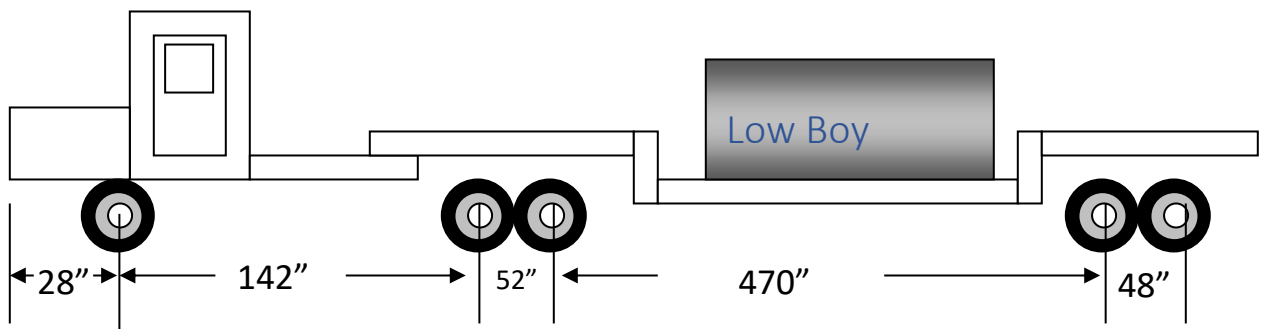
**Scope:** This policy is applicable to private roads, private driveways, lanes, drives, access easements and similar driving surfaces. Bridges shall be inspected every two years.

**Procedure:** A Washington State Registered Civil Engineer shall design the bridge to meet, at a minimum, the following requirements.

- Both ends of the bridge are required to have the capacity posted. The signs shall have a pictograph showing the two below types of fire vehicles with the bridge capacity, in lbs. below each pictograph. See sample sign on page two for minimum sign and letter sizes.
- Benton County Fire Marshal shall approve Private bridges width. The bridge shall be designed and built to accommodate a **minimum, of a 75,000-pound truck**, or a 75,000-pound low-boy with the following dimensions:
- 75,000-pound truck
  - First axle to second axle is 150 inches
  - Second axle to third axle is 56 inches
  - Third axle to fourth axle is 60 inches



- 60,000-pound low boy
  - First axle to second axle is 142 inches.
  - Second axle to third axle is 52 inches.
  - Third axle to fourth axle is 470 inches.
  - Fourth axle to fifth axle is 48 inches.



**Policy: CULVERT CROSSING**

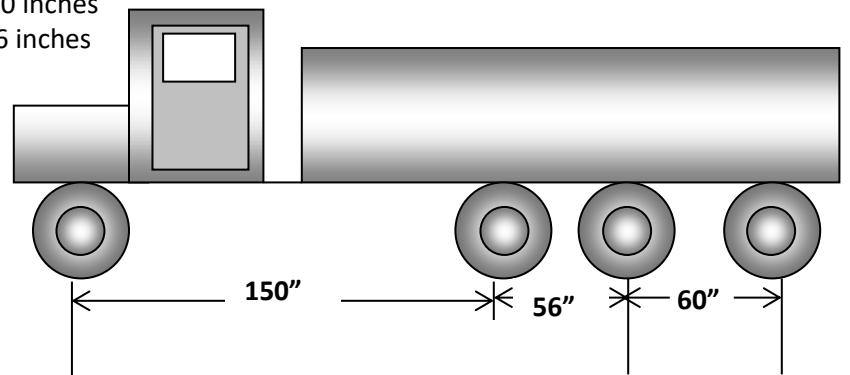
**Purpose:** Provide for a uniform method for the design of culvert crossings.

**Scope:** This policy is applicable to private roads, private driveways, lanes, drives, access easements and similar driving surfaces.

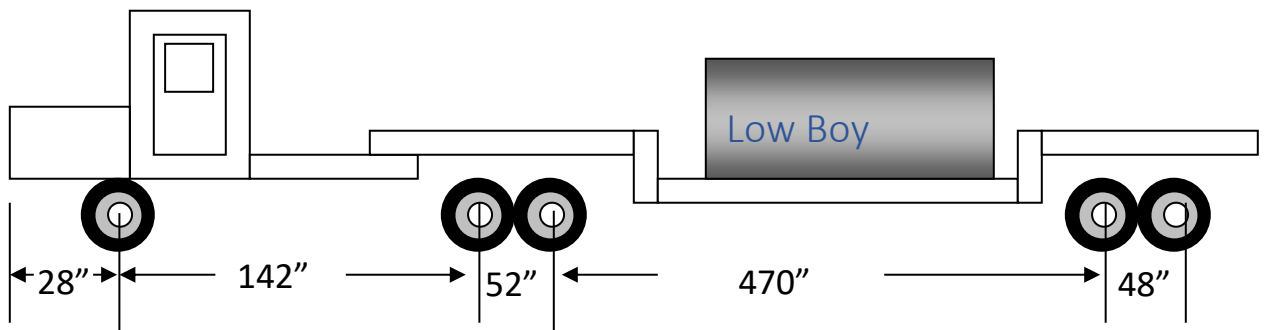
**Procedure:** A Washington State Registered Civil Engineer shall design the culvert to meet, at a minimum, the following requirements. Upon the Benton County Fire Marshal’s office receiving a submittal from the Benton County Planning Department or the Benton County Building Department, a review will be conducted to determine if the proposed culvert meets the requirements of 3.18.045 (c).

- Benton County Code 3.18.045 (c) requires culverts to be designed to handle a 25-year storm and the imposed fire loads.
- Benton County Fire Marshal shall approve the design. The bridge shall be designed and built to accommodate, at a **minimum**, a 75,000-pound truck, or a 75,000-pound low-boy with the following dimensions:
- 75,000-pound truck
  - First axle to second axle is 150 inches
  - Second axle to third axle is 56 inches
  - Third axle to fourth axle is 60 inches

Third axle to fourth axle is 60 inches



- 75,000-pound low boy
  - First axle to second axle is 142 inches.
  - Second axle to third axle is 52 inches.
  - Third axle to fourth axle is 470 inches.
  - Fourth axle to fifth axle is 48 inches.



Also, BCC 3.18.045 (i)

- (i) Access Identification - Uniform Address Posts. Address locator posts shall be installed and maintained in accordance with the standards adopted by Benton County. (REQUIRED)  
The owner of the property is responsible for maintaining and replacing address locator posts per the following requirements and standards:
- (1) Address locator posts shall be perpendicular to the public right-of-way and shall be placed off the road so as not to hinder the movement of traffic and road maintenance vehicles.
  - (2) The posts shall be located adjacent to the private easement point of encroachment and/or driveway.
  - (3) If the address posts initially installed by the County are damaged, replacement of the address signs can be obtained from Benton County Planning/Building Department by submitting a fee as set by resolution of the Board of County Commissioners. In lieu of the fee, owners may provide their own signs.
  - (4) The posts must be at least four (4) and less than six (6) feet in height with reflective address numbers each at least four (4) inches in height on both sides.
  - (5) The address posts shall be flexible and shall not be hazardous to moving vehicles because of sign materials. Only posts approved by the County are allowed to be put on the public right of way.
  - (6) Address numbers shall be mounted on the structure in addition to the address locator posts. The address shall be placed on the side of the structure that faces the road. It should be placed near a doorway: if no doorway exists on the side of the structure facing the right-of-way, the numbers shall be placed four to six (4 - 6) feet above ground level. The numbers shall be a minimum of four (4) inches in height and shall contrast with their background.

If you have questions on these requirements, please, feel free to contact the County Fire Marshal at (509) 735-3500. Ext 2411.

Gary Tiplady  
Benton County Fire Marshal

**Donna Hutchinson**

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**From:** Ashley Morton <AshleyMorton@ctuir.org>  
**Sent:** Friday, June 30, 2023 3:45 PM  
**To:** Planning Department; Hanson, Sydney (DAHP); Greg Wendt; Bovee, Marit Liv N  
**Subject:** RE: [EXTERNAL] DAHP Requirement Fulfilled

Good afternoon Michelle,

The Confederated Tribes of the Umatilla Indian Reservation (CTUIR) Cultural Resources Protection Program (CRPP) have reviewed the cultural resources survey report. **Redacted Per RCW 42.56.300(1)**

**Redacted Per RCW 42.56.300(1)** We have the following concerns with the Cultural Resources Survey Report:

While we support archaeological monitoring given the significance of the area and the potential for cultural resources to be encountered, we find the survey inadequate for the project needs. Testing only focused on the footprint of proposed residential homes to be constructed and does not take into account other ground disturbing activities such as utilities, the construction of roads, and other infrastructure associated with building residences. Additionally testing did not take into account the excavation of the proposed bridge crossing to the NRHP-eligible Chandler Power Canal. Moreover, the average depth shovel probes terminated was 33 cm below surface which does hardly extends much into project depths. We understand this is largely to do with heavily cobbled sediments or compact soil however given the proposed ground disturbance, additional testing should be conducted in the areas where other ground disturbance and infrastructure will be placed to identify if archaeological deposits will be encountered. Often, when these deposits are exposed during construction monitoring it is too late to avoid impacts.

In fact, the authors state in their conclusions and recommendations additional sampling will be needed to **Redacted Per RCW 42.56.300(1)**  
**Redacted Per RCW 42.56.300(1)**

**Redacted Per RCW 42.56.300(1)** Yet do not make a further recommendation that additional sampling is needed. It would be helpful to know why the authors chose to not recommend additional sampling.

We also wish to point out that despite referring to published materials by the CTUIR, the authors have ignored the project area as being within the CTUIR’s ceded territory. *Tamalúuk* is noted in the CTUIR treaty. This needs to be addressed in the report.

Finally, given that there will be a bridge crossing the Chandler Power Canal why have the author’ excluded that portion of the canal from the project area? The authors do not describe how the bridge will not have an adverse effect to the NRHP-eligible canal. This report does not adequately address important details necessary for the Section 106 component to the bridge crossing. I have cc’ed BOR archaeologist, Marit Bovee.

CTUIR appreciates the opportunity to review the Cultural Resources Survey Report for the Blair Loop Subdivision. We look forward to reviewing an addendum.

Sincerely,  
Ashley

Ashley M. Morton, M.A., RPA  
Archaeologist II  
Cultural Resources Protection Program  
Confederated Tribes of the Umatilla Indian Reservation  
46411 Timíne Way, Pendleton, OR 97801

Direct Line/Fax: (541) 429-7214

Main Office: (541) 276-3447

[AshleyMorton@ctuir.org](mailto:AshleyMorton@ctuir.org)



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**From:** Planning Department [mailto:Planning.Department@co.benton.wa.us]

**Sent:** Monday, June 26, 2023 11:27 AM

**To:** Hanson, Sydney (DAHP) <Sydney.Hanson@dahp.wa.gov>; Greg Wendt <Greg.Wendt@co.benton.wa.us>

**Cc:** Ashley Morton <AshleyMorton@ctuir.org>; casey\_barney@yakama.com; corrine\_camuso@yakama.com; corrine\_camuso@yakama.com; jessica\_lally@yakama.com; noah\_oliver@yakama.com; austin.smithjr2@ctwsbnr.org; mars.galloway@ctwsbnr.org; robert.brunoe@ctwsbnr.org; thpo@ctwsbnr.org

**Subject:** FW: [EXTERNAL] DAHP Requirement Fulfilled

**EXTERNAL EMAIL: Please use caution when clicking links or opening attachments.**

Hi Sydney,

Please see the cultural resource survey report attached for Blair Loop Subdivision (SUB 2022-004; EA 2022-051) in Benton County.

Please let our office know if there is anything else that DAHP needs from the applicant.

Regards,



**Michelle Cooke** • *Planning Manager*

Benton County Community Development Department - Planning Division

Benton County Courthouse, 620 Market Street, Prosser, WA 99350

Benton County Public Services Office, 102206 E Wiser Parkway, Kennewick, WA 99338

[Michelle.Cooke@co.benton.wa.us](mailto:Michelle.Cooke@co.benton.wa.us)

(509) 786-5612

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**From:** Jerrod Sessler <jerrod@jerrodsessler.com>

**Sent:** Saturday, June 24, 2023 8:58 AM

**To:** Michelle Cooke <Michelle.Cooke@co.benton.wa.us>

**Subject:** [EXTERNAL] DAHP Requirement Fulfilled

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Michelle,

Attached is the final report fulfilling the DAHP requirement. Please let me know what the next steps are for the project/process. I assume we can proceed with public hearings soon.

Thank you-

Let's say YES to America, together!  
Jerrod



▪ **Jerrod Sessler**  
Congressional Candidate  
[about.me/jsessler](http://about.me/jsessler)

The opinions expressed by the author are his or her own and are not necessarily those of the Confederated Tribes of the Umatilla Indian Reservation. The information, contents and attachments in this email are Confidential and Private.

**Nikki Relyea**

---

**From:** Andrea Watts  
**Sent:** Tuesday, July 11, 2023 2:42 PM  
**To:** jerrod@jerrodsessler.com  
**Cc:** Planning Department  
**Subject:** RE: [EXTERNAL] Re: EA 2022-051 MDNS

Good afternoon,

Thank you for providing this information, we will include this correspondence in your file.

If we need further information we will reach out to you with any requirements.

Regards,



**Andrea Watts**

Senior Planner

Benton County Community Development Department - Planning Division

[Andrea.watts@co.benton.wa.us](mailto:Andrea.watts@co.benton.wa.us)

(509) 786-5612

---

**From:** Jerrod Sessler <[jerrod@jerrodsessler.com](mailto:jerrod@jerrodsessler.com)>

**Sent:** Monday, July 10, 2023 8:07 PM

**To:** Planning Department <[Planning.Department@co.benton.wa.us](mailto:Planning.Department@co.benton.wa.us)>

**Subject:** RE: [EXTERNAL] Re: EA 2022-051 MDNS

Donna,

I am not sure if I am supposed to respond to this now or if there will be steps later where this will apply.

The only items that require a response are related to 3 & 4 from the USBR & the West Benton Fire. Both have been provided in the past but I can dig them up once again if/when needed.

The comprehensive structural plan for the bridge was provided years ago and was integrated by the civil engineers into the master plan. This was reviewed multiple times by the USBR engineers including by (Jay Hovde).

The determination was that the design was sufficient and the USBR was simply waiting for the county engineer to approve the project.

The loading calculations were based on the standard WA state DOT requirements which exceed all other requirements and of the 5 different ways that the bridge loads could be calculated, the most stringent of the 5 was used to confirm the bridge loading was sufficient. The way it was described to me was that one could park 2 fully loaded fire trucks side-by-side on the bridge and it would more than support that load.

This is in regards to the USBR comments and the fire comments in regards to loading.

Again, if this is not required now then we can revisit this later but if you need/want me to forward the past information provided then I can do that as well. There is a complete engineering package that was provided to Douglas D'Houdt and that was shared with the USBR engineers several years ago.

Regards-

Jerrod

Let's say [YES](#) to America, together!

Jerrod



**Jerrod Sessler**

Congressional Candidate

[about.me/jessler](https://about.me/jessler)

----- Original Message -----

On Friday, June 30th, 2023 at 10:09 AM, Planning Department <[Planning.Department@co.benton.wa.us](mailto:Planning.Department@co.benton.wa.us)> wrote:

It is the document labeled EA 2022-051 Blair Loop SUB MDNS Letter with conditions. I have attached it again to this email. If you have any more questions please reach out to our office.



Donna Hutchinson

Office Assistant II

Community Development Dept.

Planning Division

PO Box 910 Prosser WA 99350

(509) 786-5612

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**Kennewick:** Public Services Building at 102206 E Wiser Parkway, Kennewick, which houses the Planning, Building and Road Departments.

---

**From:** Jerrod Sessler <[jerrod@jerrodsessler.com](mailto:jerrod@jerrodsessler.com)>

**Sent:** Thursday, June 29, 2023 7:38 PM

**To:** Planning Department <[Planning.Department@co.benton.wa.us](mailto:Planning.Department@co.benton.wa.us)>

**Subject:** [EXTERNAL] Re: EA 2022-051 MDNS

**EXTERNAL EMAIL WARNING!!!:** This email originated from outside of Benton County. **DO NOT** click links or open attachments unless you recognize the sender and know the content is safe.

Thank you, Donna.

I do not see the Mitigated Determination of Non Significance attached.

Thank you,

Let's say [YES](#) to America, together!

Jerrod



## Jerrod Sessler

Congressional Candidate

[about.me/jsessler](https://about.me/jsessler)

----- Original Message -----

On Thursday, June 29th, 2023 at 4:57 PM, Planning Department

<[Planning.Department@co.benton.wa.us](mailto:Planning.Department@co.benton.wa.us)> wrote:

Attached please find a Mitigated Determination of Non Significance for your SEPA Checklist EA 2022-051. Also attached are the conditions associated with that Determination and the comments that were received during our review. If you have any questions, please contact our office.



Donna Hutchinson

Office Assistant II

Community Development Dept.

Planning Division

PO Box 910 Prosser WA 99350

(509) 786-5612

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**Prosser:** We are located within the Road Department/Public Works Office on the first floor of the Benton County Courthouse at 620 Market St, Prosser WA 99350.

**Kennewick:** Public Services Building at 102206 E Wiser Parkway, Kennewick, which houses the Planning, Building and Road Departments.



Allyson Brooks Ph.D., Director  
State Historic Preservation Officer

July 10, 2023

Michelle Cooke  
Benton County  
620 Market Street  
Prosser, WA

In future correspondence please refer to:  
Project Tracking Code: 2023-02-01045  
Property: Benton County\_Blair Loop Subdivision (EA 2023-001)  
Re: Concur with Survey

Dear Michelle Cooke:

Thank you for contacting the Washington State Historic Preservation Officer (SHPO) and Department of Archaeology and Historic Preservation (DAHP) and providing documentation regarding the above referenced project. These comments are based on the information available at the time of this review and on behalf of the SHPO in conformance with Washington State law. Should additional information become available, our assessment may be revised.

We concur with the results and recommendations made in the survey report. Specifically, we concur that archaeological monitoring of all ground-disturbing activities within 33 m (100 ft) of the isolate (BN02326) should occur. We also ask that an Inadvertent Discovery Plan (IDP) be included as part of the construction permit.

Please note that the recommendations provided in this letter reflect only the opinions of DAHP. Any interested Tribes may have different recommendations. We appreciate receiving any correspondence or comments from Tribes or other parties concerning cultural resource issues that you receive.

Thank you for the opportunity to comment on this project. Please ensure that the DAHP project Tracking Number is attached to any future communications about this project.

Should you have any questions, please feel free to contact me.

Sincerely,

Sydney Hanson  
Local Government Archaeologist  
(360) 280-7563  
Sydney.Hanson@dahp.wa.gov



**Donna Hutchinson**

---

**From:** JoDee Peyton <Jodeer@bfhd.wa.gov>  
**Sent:** Monday, July 17, 2023 4:18 PM  
**To:** Planning Department  
**Subject:** [EXTERNAL] RE: Agency Review for SUB 2022-004 Blair Loop

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Michelle – we have nothing new on this. There are no updated comments, the letter of 10/4/22 would still work as he moved forward within the additional six months we gave him.

Please feel free to give me a call with any questions or concerns. Thank you.

**JoDee A. Peyton, EHS III**  
Supervisor  
Land Use, Sewage and Water Section

**Benton-Franklin Health District**  
7102 W. Okanogan Place  
Kennewick, WA 99336  
p: 509.460.4318  
Pronouns: she/her  
[www.bfhd.wa.gov](http://www.bfhd.wa.gov) [jodeer@bfhd.wa.gov](mailto:jodeer@bfhd.wa.gov)



Follow us on

---

**From:** Planning Department <Planning.Department@co.benton.wa.us>  
**Sent:** Friday, June 30, 2023 2:34 PM  
**To:** JoDee Peyton <Jodeer@bfhd.wa.gov>  
**Cc:** Donna Hutchinson <Donna.Hutchinson@co.benton.wa.us>  
**Subject:** RE: Agency Review for SUB 2022-004 Blair Loop

Hi JoDee,

I just realized that we did not receive updated Health District comments for this preliminary plat by Jerrod Sessler. All we have in the file in an extension waiver.

Could you please send us any updated comments BFHD may have?

Thank you,



**Michelle Cooke** • *Planning Manager*  
Benton County Community Development Department - Planning Division  
Benton County Courthouse, 620 Market Street, Prosser, WA 99350  
Benton County Public Services Office, 102206 E Wisner Parkway, Kennewick, WA 99338

[Michelle.Cooke@co.benton.wa.us](mailto:Michelle.Cooke@co.benton.wa.us)

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**From:** Planning Department <[Planning.Department@co.benton.wa.us](mailto:Planning.Department@co.benton.wa.us)>

**Sent:** Tuesday, February 7, 2023 11:55 AM

**To:** Benton Clean Air - Noah Lee <[noah.lee@bentoncleanair.org](mailto:noah.lee@bentoncleanair.org)>; [seand@bfhd.wa.gov](mailto:seand@bfhd.wa.gov); Brad O'Brien <[Brad.Obrien@co.benton.wa.us](mailto:Brad.Obrien@co.benton.wa.us)>; Clark Posey <[Clark.Posey@co.benton.wa.us](mailto:Clark.Posey@co.benton.wa.us)>; Daniel Gonzalez <[Daniel.Gonzalez@co.benton.wa.us](mailto:Daniel.Gonzalez@co.benton.wa.us)>; Gary Tiplady <[Gary.Tiplady@co.benton.wa.us](mailto:Gary.Tiplady@co.benton.wa.us)>; Brian Bell <[Brian.Bell@co.benton.wa.us](mailto:Brian.Bell@co.benton.wa.us)>; Michelle Johnson <[Michelle.Johnson@co.benton.wa.us](mailto:Michelle.Johnson@co.benton.wa.us)>; Troy Taylor <[Troy.Taylor@co.benton.wa.us](mailto:Troy.Taylor@co.benton.wa.us)>; Veronica Vogt <[Veronica.Vogt@co.benton.wa.us](mailto:Veronica.Vogt@co.benton.wa.us)>; Burlington Northern Sante Fe Railroad <[carrie.thompson@BNSF.com](mailto:carrie.thompson@BNSF.com)>; Dept. of Transportation ([scplanning@wsdot.wa.gov](mailto:scplanning@wsdot.wa.gov)) <[scplanning@wsdot.wa.gov](mailto:scplanning@wsdot.wa.gov)>; [cdamron@westbentonfirerescue.org](mailto:cdamron@westbentonfirerescue.org); Frontier Telephone <[north.central.dbmc.control.desk@ncnetwork.net](mailto:north.central.dbmc.control.desk@ncnetwork.net)>; Cristina Woods <[Cristina.Woods@co.benton.wa.us](mailto:Cristina.Woods@co.benton.wa.us)>; School District # 17-Ryan Jones <[Ryan.Jones@ksd.org](mailto:Ryan.Jones@ksd.org)>; Sunnyside Valley Irrigation Dist. - Diane Weber <[weberd@svid.org](mailto:weberd@svid.org)>; Rigo Diosdado <[diosdador@svid.org](mailto:diosdador@svid.org)>; US Postal Service ([ina.n.beutler@usps.gov](mailto:ina.n.beutler@usps.gov)) <[ina.n.beutler@usps.gov](mailto:ina.n.beutler@usps.gov)>; US Postal Service - Address Management System <[Tina.C.Fisher@usps.gov](mailto:Tina.C.Fisher@usps.gov)>; WA Dept of Health - Kelly Cooper - WA Dept of Health - Kelly Cooper ([SEPA.reviewteam@doh.wa.gov](mailto:SEPA.reviewteam@doh.wa.gov)) <[SEPA.reviewteam@doh.wa.gov](mailto:SEPA.reviewteam@doh.wa.gov)>; [Jessica.Lally@Yakama.com](mailto:Jessica.Lally@Yakama.com); [Corrine.Camuso@Yakama.com](mailto:Corrine.Camuso@Yakama.com); Yakima Indian Nation-John Marvin <[john\\_marvin@yakama.com](mailto:john_marvin@yakama.com)>; Kim Lettrick <[k.lettrick@bces.wa.gov](mailto:k.lettrick@bces.wa.gov)>; Dept. of Fish and Wildlife- Review <[R3planning@dfw.wa.gov](mailto:R3planning@dfw.wa.gov)>; ASSESSOR <[Assessor@co.benton.wa.us](mailto:Assessor@co.benton.wa.us)>; PARKS <[PARKS@co.benton.wa.us](mailto:PARKS@co.benton.wa.us)>; Mosquito Control ([admin@mosquitocontrol.org](mailto:admin@mosquitocontrol.org)) <[admin@mosquitocontrol.org](mailto:admin@mosquitocontrol.org)>; Natural Resources Conservation Service ([Kenton.Rod@wa.usda.gov](mailto:Kenton.Rod@wa.usda.gov)) <[Kenton.Rod@wa.usda.gov](mailto:Kenton.Rod@wa.usda.gov)>; Madison Murphy <[Madison.Murphy@co.benton.wa.us](mailto:Madison.Murphy@co.benton.wa.us)>; Benton PUD-Chad Brooks <[Brooksc@bentonpud.org](mailto:Brooksc@bentonpud.org)>; Benton PUD-Shanna Everson <[eversons@bentonpud.org](mailto:eversons@bentonpud.org)>; Benton PUD-tina Glines ([glinest@bentonpud.org](mailto:glinest@bentonpud.org)) <[glinest@bentonpud.org](mailto:glinest@bentonpud.org)>; [langn@bentonpud.org](mailto:langn@bentonpud.org); Bureau of Reclamation - C. Garner ([cgarner@usbr.gov](mailto:cgarner@usbr.gov)) <[cgarner@usbr.gov](mailto:cgarner@usbr.gov)>; Bureau of Reclamation - L Hendrix - Bureau of Reclamation ([lhendrix@usbr.gov](mailto:lhendrix@usbr.gov)) <[lhendrix@usbr.gov](mailto:lhendrix@usbr.gov)>; Benton REA - Nick Pryor <[npryor@bentonrea.org](mailto:npryor@bentonrea.org)>; Bureau of Reclamation - McKinley ([cmckinley@usbr.gov](mailto:cmckinley@usbr.gov)) <[cmckinley@usbr.gov](mailto:cmckinley@usbr.gov)>; Benton REA - Derek Miller <[dmiller@bentonrea.org](mailto:dmiller@bentonrea.org)>; [sstearns@bentonrea.org](mailto:sstearns@bentonrea.org)

**Subject:** Agency Review for SUB 2022-004 Blair Loop

Evidently, the wrong pdf was attached to the review sent out last week. Please see the updated attached information for agency review and comment on the preliminary plat of Blair Loop SUB 2022-004. If you have any questions please contact our office at this email address or call 509-786-5612.



Donna Hutchinson  
Office Assistant II  
Community Development Dept.  
Planning Division  
PO Box 910 Prosser WA 99350  
(509) 786-5612

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**Kennewick:** Public Services Building at 102206 E Wiser Parkway, Kennewick, which houses the Planning, Building and Road Departments.

**From:** Planning Department

**Sent:** Friday, February 3, 2023 3:42 PM

**To:** Benton Clean Air - Noah Lee <[noah.lee@bentoncleanair.org](mailto:noah.lee@bentoncleanair.org)>; [seand@bfhd.wa.gov](mailto:seand@bfhd.wa.gov); Brad O'Brien <[Brad.Obrien@co.benton.wa.us](mailto:Brad.Obrien@co.benton.wa.us)>; Clark Posey <[Clark.Posey@co.benton.wa.us](mailto:Clark.Posey@co.benton.wa.us)>; Daniel Gonzalez <[Daniel.Gonzalez@co.benton.wa.us](mailto:Daniel.Gonzalez@co.benton.wa.us)>; Gary Tiplady <[Gary.Tiplady@co.benton.wa.us](mailto:Gary.Tiplady@co.benton.wa.us)>; Brian Bell <[Brian.Bell@co.benton.wa.us](mailto:Brian.Bell@co.benton.wa.us)>; Michelle Johnson <[Michelle.Johnson@co.benton.wa.us](mailto:Michelle.Johnson@co.benton.wa.us)>; Troy Taylor <[Troy.Taylor@co.benton.wa.us](mailto:Troy.Taylor@co.benton.wa.us)>; Veronica Vogt <[Veronica.Vogt@co.benton.wa.us](mailto:Veronica.Vogt@co.benton.wa.us)>; Burlington Northern Sante Fe Railroad <[carrie.thompson@BNSF.com](mailto:carrie.thompson@BNSF.com)>; Dept. of Transportation ([scplanning@wsdot.wa.gov](mailto:scplanning@wsdot.wa.gov)) <[scplanning@wsdot.wa.gov](mailto:scplanning@wsdot.wa.gov)>; [cdamron@westbentonfirerescue.org](mailto:cdamron@westbentonfirerescue.org); Frontier Telephone <[north.central.dbmc.control.desk@ncnetwork.net](mailto:north.central.dbmc.control.desk@ncnetwork.net)>; Road Dept. - Cristina Woods ([Cristina.Woods@co.benton.wa.us](mailto:Cristina.Woods@co.benton.wa.us)) <[Cristina.Woods@co.benton.wa.us](mailto:Cristina.Woods@co.benton.wa.us)>; School District # 17-Ryan Jones <[Ryan.Jones@ksd.org](mailto:Ryan.Jones@ksd.org)>; Sunnyside Valley Irrigation Dist. - Diane Weber <[weberd@svid.org](mailto:weberd@svid.org)>; Rigo Diosdado <[diosdador@svid.org](mailto:diosdador@svid.org)>; US Postal Service ([ina.n.beutler@usps.gov](mailto:ina.n.beutler@usps.gov)) <[ina.n.beutler@usps.gov](mailto:ina.n.beutler@usps.gov)>; US Postal Service - Address Management System <[Tina.C.Fisher@usps.gov](mailto:Tina.C.Fisher@usps.gov)>; WA Dept of Health - Kelly Cooper - WA Dept of Health - Kelly Cooper ([SEPA.reviewteam@doh.wa.gov](mailto:SEPA.reviewteam@doh.wa.gov)) <[SEPA.reviewteam@doh.wa.gov](mailto:SEPA.reviewteam@doh.wa.gov)>; [Jessica\\_Lally@Yakama.com](mailto:Jessica_Lally@Yakama.com); [Corrine\\_Camuso@Yakama.com](mailto:Corrine_Camuso@Yakama.com); Yakima Indian Nation-John Marvin <[john\\_marvin@yakama.com](mailto:john_marvin@yakama.com)>; Southeast Communication Center ([k.lettrick@bces.wa.gov](mailto:k.lettrick@bces.wa.gov)) <[k.lettrick@bces.wa.gov](mailto:k.lettrick@bces.wa.gov)>; Dept. of Fish and Wildlife- Review <[R3planning@dfw.wa.gov](mailto:R3planning@dfw.wa.gov)>; ASSESSOR <[Assessor@co.benton.wa.us](mailto:Assessor@co.benton.wa.us)>; Benton County Parks Dept. ([parks@co.benton.wa.us](mailto:parks@co.benton.wa.us)) <[parks@co.benton.wa.us](mailto:parks@co.benton.wa.us)>; Mosquito Control ([admin@mosquitocontrol.org](mailto:admin@mosquitocontrol.org)) <[admin@mosquitocontrol.org](mailto:admin@mosquitocontrol.org)>; Natural Resources Conservation Service ([Kenton.Rod@wa.usda.gov](mailto:Kenton.Rod@wa.usda.gov)) <[Kenton.Rod@wa.usda.gov](mailto:Kenton.Rod@wa.usda.gov)>; Madison Murphy <[Madison.Murphy@co.benton.wa.us](mailto:Madison.Murphy@co.benton.wa.us)>; Benton PUD-Chad Brooks <[Brooksc@bentonpud.org](mailto:Brooksc@bentonpud.org)>; Benton PUD-Shanna Everson <[eversons@bentonpud.org](mailto:eversons@bentonpud.org)>; Benton PUD-tina Glines ([glinest@bentonpud.org](mailto:glinest@bentonpud.org)) <[glinest@bentonpud.org](mailto:glinest@bentonpud.org)>; [langn@bentonpud.org](mailto:langn@bentonpud.org); Bureau of Reclamation - C. Garner ([cgarner@usbr.gov](mailto:cgarner@usbr.gov)) <[cgarner@usbr.gov](mailto:cgarner@usbr.gov)>; Bureau of Reclamation - L Hendrix - Bureau of Reclamation ([lhendrix@usbr.gov](mailto:lhendrix@usbr.gov)) <[lhendrix@usbr.gov](mailto:lhendrix@usbr.gov)>; Bureau of Reclamation -McKinley ([cmckinley@usbr.gov](mailto:cmckinley@usbr.gov)) <[cmckinley@usbr.gov](mailto:cmckinley@usbr.gov)>

**Subject:** Agency Review for SUB 2022-004 Blair Loop

Please see the attached information for agency review and comment on the preliminary plat of Blair Loop SUB 2022-004. If you have any questions please contact our office at this email address or call 509-786-5612.



**Donna Hutchinson**  
Office Assistant II  
Community Development Dept.  
Planning Division  
PO Box 910 Prosser WA 99350  
(509) 786-5612

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**Donna Hutchinson**

---

**From:** Diosdado, Rigoberto <diosdador@svid.org>  
**Sent:** Friday, February 17, 2023 8:47 AM  
**To:** Planning Department  
**Subject:** [EXTERNAL] RE: Agency Review for SUB 2022-004 Blair Loop

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Donna,

SVID had a meeting with Mr. Sessler yesterday and discussed several items regarding this project. There are some decisions to be made by SVID management which may affect the project in regards to irrigation. I believe the comments I have previously sent regarding this project should suffice.

**Rigo Diosdado**  
Engineer Tech  
(509)837-6980  
diosdador@svid.org

---

**From:** Planning Department <Planning.Department@co.benton.wa.us>  
**Sent:** Tuesday, February 7, 2023 11:55 AM  
**To:** Benton Clean Air - Noah Lee <noah.lee@bentoncleanair.org>; seand@bfhd.wa.gov; Brad O'Brien <Brad.Obrien@co.benton.wa.us>; Clark Posey <Clark.Posey@co.benton.wa.us>; Daniel Gonzalez <Daniel.Gonzalez@co.benton.wa.us>; Gary Tiplady <Gary.Tiplady@co.benton.wa.us>; Brian Bell <Brian.Bell@co.benton.wa.us>; Michelle Johnson <Michelle.Johnson@co.benton.wa.us>; Troy Taylor <Troy.Taylor@co.benton.wa.us>; Veronica Vogt <Veronica.Vogt@co.benton.wa.us>; Burlington Northern Sante Fe Railroad <carrie.thompson@BNSF.com>; Dept. of Transportation (scplanning@wsdot.wa.gov) <scplanning@wsdot.wa.gov>; cdamron@westbentonfirerescue.org; Frontier Telephone <north.central.dbmc.control.desk@ncnetwork.net>; Cristina Woods <Cristina.Woods@co.benton.wa.us>; School District # 17-Ryan Jones <Ryan.Jones@ksd.org>; Weber, Diane <weberd@svid.org>; Diosdado, Rigoberto <diosdador@svid.org>; US Postal Service (ina.n.beutler@usps.gov) <ina.n.beutler@usps.gov>; US Postal Service - Address Management System <Tina.C.Fisher@usps.gov>; WA Dept of Health - Kelly Cooper - WA Dept of Health - Kelly Cooper (SEPA.reviewteam@doh.wa.gov) <SEPA.reviewteam@doh.wa.gov>; Jessica\_Lally@Yakama.com; Corrine\_Camuso@Yakama.com; Yakima Indian Nation-John Marvin <john\_marvin@yakama.com>; Kim Lettrick <k.lettrick@bces.wa.gov>; Dept. of Fish and Wildlife- Review <R3planning@dfw.wa.gov>; ASSESSOR <Assessor@co.benton.wa.us>; PARKS <PARKS@co.benton.wa.us>; Mosquito Control (admin@mosquitocontrol.org) <admin@mosquitocontrol.org>; Natural Resources Conservation Service (Kenton.Rod@wa.usda.gov) <Kenton.Rod@wa.usda.gov>; Madison Murphy <Madison.Murphy@co.benton.wa.us>; Benton PUD-Chad Brooks <Brooksc@bentonpud.org>; Benton PUD-Shanna Everson <eversons@bentonpud.org>; Benton PUD-tina Glines (glinest@bentonpud.org) <glinest@bentonpud.org>; langn@bentonpud.org; Bureau of Reclamation - C. Garner (cgarner@usbr.gov) <cgarner@usbr.gov>; Bureau of Reclamation - L Hendrix - Bureau of Reclamation (lhendrix@usbr.gov) <lhendrix@usbr.gov>; Benton REA - Nick Pryor <npryor@bentonrea.org>; Bureau of Reclamation - McKinley (cmckinley@usbr.gov) <cmckinley@usbr.gov>; Benton REA - Derek Miller <dmiller@bentonrea.org>; sstearns@bentonrea.org  
**Subject:** Agency Review for SUB 2022-004 Blair Loop

Evidently, the wrong pdf was attached to the review sent out last week. Please see the updated attached information for agency review and comment on the preliminary plat of Blair Loop SUB 2022-004. If you have any questions please contact our office at this email address or call 509-786-5612.



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---

**From:** Planning Department

**Sent:** Friday, February 3, 2023 3:42 PM

**To:** Benton Clean Air - Noah Lee <[noah.lee@bentoncleanair.org](mailto:noah.lee@bentoncleanair.org)>; [seand@bfhd.wa.gov](mailto:seand@bfhd.wa.gov); Brad O'Brien <[Brad.Obrien@co.benton.wa.us](mailto:Brad.Obrien@co.benton.wa.us)>; Clark Posey <[Clark.Posey@co.benton.wa.us](mailto:Clark.Posey@co.benton.wa.us)>; Daniel Gonzalez <[Daniel.Gonzalez@co.benton.wa.us](mailto:Daniel.Gonzalez@co.benton.wa.us)>; Gary Tiplady <[Gary.Tiplady@co.benton.wa.us](mailto:Gary.Tiplady@co.benton.wa.us)>; Brian Bell <[Brian.Bell@co.benton.wa.us](mailto:Brian.Bell@co.benton.wa.us)>; Michelle Johnson <[Michelle.Johnson@co.benton.wa.us](mailto:Michelle.Johnson@co.benton.wa.us)>; Troy Taylor <[Troy.Taylor@co.benton.wa.us](mailto:Troy.Taylor@co.benton.wa.us)>; Veronica Vogt <[Veronica.Vogt@co.benton.wa.us](mailto:Veronica.Vogt@co.benton.wa.us)>; Burlington Northern Sante Fe Railroad <[carrie.thompson@BNSF.com](mailto:carrie.thompson@BNSF.com)>; Dept. of Transportation ([scplanning@wsdot.wa.gov](mailto:scplanning@wsdot.wa.gov)) <[scplanning@wsdot.wa.gov](mailto:scplanning@wsdot.wa.gov)>; [cdamron@westbentonfirerescue.org](mailto:cdamron@westbentonfirerescue.org); Frontier Telephone <[north.central.dbmc.control.desk@ncnetwork.net](mailto:north.central.dbmc.control.desk@ncnetwork.net)>; Road Dept. - Cristina Woods ([Cristina.Woods@co.benton.wa.us](mailto:Cristina.Woods@co.benton.wa.us)) <[Cristina.Woods@co.benton.wa.us](mailto:Cristina.Woods@co.benton.wa.us)>; School District # 17-Ryan Jones <[Ryan.Jones@ksd.org](mailto:Ryan.Jones@ksd.org)>; Sunnyside Valley Irrigation Dist. - Diane Weber <[weberd@svid.org](mailto:weberd@svid.org)>; Rigo Diosdado <[diosdador@svid.org](mailto:diosdador@svid.org)>; US Postal Service ([ina.n.beutler@usps.gov](mailto:ina.n.beutler@usps.gov)) <[ina.n.beutler@usps.gov](mailto:ina.n.beutler@usps.gov)>; US Postal Service - Address Management System <[Tina.C.Fisher@usps.gov](mailto:Tina.C.Fisher@usps.gov)>; WA Dept of Health - Kelly Cooper - WA Dept of Health - Kelly Cooper ([SEPA.reviewteam@doh.wa.gov](mailto:SEPA.reviewteam@doh.wa.gov)) <[SEPA.reviewteam@doh.wa.gov](mailto:SEPA.reviewteam@doh.wa.gov)>; [Jessica\\_Lally@Yakama.com](mailto:Jessica_Lally@Yakama.com); [Corrine\\_Camuso@Yakama.com](mailto:Corrine_Camuso@Yakama.com); Yakima Indian Nation-John Marvin <[john\\_marvin@yakama.com](mailto:john_marvin@yakama.com)>; Southeast Communication Center ([k.lettrick@bces.wa.gov](mailto:k.lettrick@bces.wa.gov)) <[k.lettrick@bces.wa.gov](mailto:k.lettrick@bces.wa.gov)>; Dept. of Fish and Wildlife- Review <[R3planning@dfw.wa.gov](mailto:R3planning@dfw.wa.gov)>; ASSESSOR <[Assessor@co.benton.wa.us](mailto:Assessor@co.benton.wa.us)>; Benton County Parks Dept. ([parks@co.benton.wa.us](mailto:parks@co.benton.wa.us)) <[parks@co.benton.wa.us](mailto:parks@co.benton.wa.us)>; Mosquito Control ([admin@mosquitocontrol.org](mailto:admin@mosquitocontrol.org)) <[admin@mosquitocontrol.org](mailto:admin@mosquitocontrol.org)>; Natural Resources Conservation Service ([Kenton.Rod@wa.usda.gov](mailto:Kenton.Rod@wa.usda.gov)) <[Kenton.Rod@wa.usda.gov](mailto:Kenton.Rod@wa.usda.gov)>; Madison Murphy <[Madison.Murphy@co.benton.wa.us](mailto:Madison.Murphy@co.benton.wa.us)>; Benton PUD-Chad Brooks <[Brooksc@bentonpud.org](mailto:Brooksc@bentonpud.org)>; Benton PUD-Shanna Everson <[eversons@bentonpud.org](mailto:eversons@bentonpud.org)>; Benton PUD-tina Glines ([glinest@bentonpud.org](mailto:glinest@bentonpud.org)) <[glinest@bentonpud.org](mailto:glinest@bentonpud.org)>; [langn@bentonpud.org](mailto:langn@bentonpud.org); Bureau of Reclamation - C. Garner ([cgarner@usbr.gov](mailto:cgarner@usbr.gov)) <[cgarner@usbr.gov](mailto:cgarner@usbr.gov)>; Bureau of Reclamation - L Hendrix - Bureau of Reclamation ([lhendrix@usbr.gov](mailto:lhendrix@usbr.gov)) <[lhendrix@usbr.gov](mailto:lhendrix@usbr.gov)>; Bureau of Reclamation -McKinley ([cmckinley@usbr.gov](mailto:cmckinley@usbr.gov)) <[cmckinley@usbr.gov](mailto:cmckinley@usbr.gov)>

**Subject:** Agency Review for SUB 2022-004 Blair Loop

Please see the attached information for agency review and comment on the preliminary plat of Blair Loop SUB 2022-004. If you have any questions please contact our office at this email address or call 509-786-5612.



**Donna Hutchinson**  
Office Assistant II  
Community Development Dept.  
Planning Division  
PO Box 910 Prosser WA 99350  
(509) 786-5612

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**Kennewick:** Public Services Building at 102206 E Wiser Parkway, Kennewick, which houses the Planning, Building and Road Departments.

**Donna Hutchinson**

---

**From:** Ashley Morton <AshleyMorton@ctuir.org>  
**Sent:** Wednesday, August 2, 2023 3:38 PM  
**To:** Donna Hutchinson  
**Cc:** sydney.hanson@dahp.wa.gov; Bovee, Marit Liv N  
**Subject:** RE: SUB 2022-004 DAHP Requirement Fulfilled

Good afternoon Donna,

The CTUIR's Cultural Resources Protection Program (CRPP) has reviewed the updates in the cultural resources report as noted by Plateau CRM in the email chain below. While we appreciate the inclusion of the CTUIR in the cultural background we find the testing and absence of additional testing inadequate for the needs of the proposed project. Given Plateau CRM's statement that the canal is not in the Project Area, they need to clearly justify how the proposed bridge will not impact the NRHP-eligible Chandler Power Canal. The location of the bridge crossing needs to be included on a map. It is not clear where within the Project Area the bridge will be constructed. If the proposed bridge will cross the canal, then that makes at least that portion of the canal part of the project area and should be included in the survey area.

According to the MDNS letter from the County dated June 29, 2023, the BOR commented that the proposed bridge plan, location, and associated improvement plans had not been provided to the agency and that the NEPA and NHPA review needed to be completed. Those comments were dated February of 2023. However, the authors state in their report the design has been approved by BOR. It is unclear where the evaluation of the bridge is at then in the NEPA/NHPA review process with the BOR and therefore, how the authors can make the statement that "the proposed bridge will have no adverse effect on the Chandler Power Canal." Does this statement come from the BOR? If so, it needs to be included.

The UDP needs to be updated to include contacting the CTUIR. **Redacted Per RCW 42.56.300(1)**

**[Redacted]**, preparation of a WA State archaeological monitoring permit needs to be completed per RCW 27.53.60 guidelines.

Based on comments made in this email thread by the landowner, it is evident that the landowner does not understand their legal obligations under state law to protect cultural and natural resources.

Sincerely,  
Ashley

Ashley M. Morton, M.A., RPA  
Archaeologist II  
Cultural Resources Protection Program  
Confederated Tribes of the Umatilla Indian Reservation  
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